

**MASTER DEED**

**RIVER PINES OF FARMINGTON CONDOMINIUM**

(Act 59, Public Acts of 1978; as amended)

This Master Deed made and executed on this 31st day of August, 1987, by ITALO-AMERICAN CONDOMINIUM CORPORATION, a Michigan corporation, whose address is 21971 Farmington Road, Farmington Hills, Michigan 48024 (the "Developer") in accordance with the provisions of the Michigan Condominium Act (being Act 59 of the Public Acts of 1978, as amended) (the "Act"),

W I T N E S S E T H :

WHEREAS, the Developer desires by recording this Master Deed, together with the Condominium Bylaws attached hereto as Exhibit A and together with the Condominium Subdivision Plan attached hereto as Exhibit B (both of which are hereby incorporated by reference and made a part hereof), to establish the real property described in Article II below, together with the improvements located and to be located thereon, and the appurtenances thereto, as a residential condominium project under the provisions of the Act.

NOW, THEREFORE, the Developer does, upon the recording hereof, establish River Pines of Farmington Condominium as a condominium project under the Act and declares that River Pines of Farmington Condominium (the "Condominium", "Project" or the "Condominium Project"), shall, after such establishment, be held, conveyed, hypothecated, encumbered, leased, rented, occupied, improved, or in any other manner utilized, subject to the provisions of the Act, and to the covenants, conditions, restrictions, uses, limitations and affirmative obligations set forth in this Master Deed and Exhibits A and B hereto, all of which shall be deemed to run with the land and shall be a burden and a benefit to the Developer, its successors and assigns, and any persons acquiring or owning an interest in the said real property, their grantees, successors, heirs, executors, administrators and assigns. In furtherance of the establishment of the Condominium Project, it is provided as follows:

**ARTICLE I**

**TITLE AND NATURE**

The Condominium Project shall be known as River Pines of Farmington Condominium, Oakland County Condominium Subdivision Plan No. 508. The architectural plans and specifications for the Project were approved by the City of Farmington Hills,

Michigan. The Condominium Project is established in accordance with the Act. The buildings contained in the Condominium, including the number, boundaries, dimensions and area of each Unit are set forth completely in the Condominium Subdivision Plan attached as Exhibit B. Each building contains an individual Unit to be used for residential purposes and each Unit is capable of individual utilization on account of having its own entrance from and exit to a Common Element of the Condominium Project. Each Co-owner in the Condominium Project shall have an exclusive right to his Unit and shall have undivided and inseparable rights to share with other Co-owners the Common Elements of the Condominium Project as are designated by the Master Deed.

## ARTICLE II

### LEGAL DESCRIPTION

The land which is submitted to the Condominium Project established by this Master Deed is particularly described as follows:

Part of the Northwest 1/4 of Section 33 and part of the Northeast 1/4 of Section 32, Town 1 North, Range 9 East, City of Farmington Hills, Oakland County, Michigan described as beginning at the Northwest corner of said Section 33 and proceeding thence North 89 degrees 53 minutes 50 seconds East 362.67 feet along the North line of Section 33, said line also being the Centerline of Nine Mile Road; thence South 00 degrees 10 minutes 04 seconds East 600.00 feet; thence North 89 degrees 53 minutes 50 seconds East 197.85 feet; thence North 00 degrees 10 minutes 04 seconds West 600.00 feet to the North line of Section 33, thence along said line, also being the Centerline of Nine Mile Road, North 89 degrees 53 minutes 50 seconds East 701.55 feet; thence South 00 degrees 03 minutes 30 seconds East 1320.37 feet; thence North 89 degrees 51 minutes 11 seconds East 923.62 feet; thence South 00 degrees 06 minutes 05 seconds East 576.32 feet; thence the following four courses and distances along "Fendt's Hilldale Subdivision" as recorded in Liber 62 of Plats, Page 42, Oakland County Records; South 74 degrees 58 minutes 54 seconds West 45.15 feet, North 70 degrees 05 minutes 26 seconds West 250.00 feet, South 19 degrees 55 minutes 41 seconds West 271.11 feet and South 89 degrees 56 minutes 14 seconds West 1810.90 feet; thence North 00 degrees 10 minutes 04 seconds West 747.65 feet; thence North 89 degrees 49 minutes 38 seconds West 874.54 feet along the North line of Green Hill Commons No. 3 as recorded in Liber 157 of Plats, Pages 27 and 28, Oakland County Records; thence North 00 degrees 10 minutes 01 seconds West 1326.22 feet to the North line of Section 32; thence South 89 degrees 56 minutes 00 seconds East 874.51 feet along said line, also being the Centerline of Nine Mile Road to the point of beginning.

Subject to easements and restrictions of record.

### ARTICLE III

#### DEFINITIONS

Certain terms are utilized in this Master Deed and Exhibits A and B hereto, and are, or may be, used in various other instruments such as, by way of example and not limitation, the Articles of Incorporation, Association Bylaws and Rules and Regulations of the River Pines of Farmington Condominium Association, a Michigan non-profit corporation, and deeds, mortgages, liens, land contracts, easements and other instruments affecting the establishment of, or transfer of, interests in River Pines of Farmington Condominium as a condominium. Wherever used in such documents or in any other pertinent instruments, the terms set forth below shall be defined as follows:

3.01 **Act.** The "Act" means the Michigan Condominium Act, being Act 59 of the Public Acts of 1978, as amended.

3.02 **Association.** "Association" means the non-profit corporation organized under Michigan law of which all Co-owners shall be members which corporation shall administer, operate, manage and maintain the Condominium. Any action required of or permitted to the Association shall be exercisable by its Board of Directors unless specifically reserved to its members by the Condominium Documents or the laws of the State of Michigan.

3.03 **Association Bylaws.** "Association Bylaws" means the corporate bylaws of the River Pines of Farmington Condominium Association, the Michigan non-profit corporation organized to manage, maintain and administer the Condominium.

3.04 **Common Elements.** "Common Elements" where used without modification, means both the General Common Elements and Limited Common Elements described in Article IV hereof.

3.05 **Condominium Bylaws.** "Condominium Bylaws" means Exhibit A hereto, being the Bylaws setting forth the substantive rights and obligations of the Co-owners and required by Section 53 of the Act to be recorded as part of the Master Deed.

3.06 **Condominium Documents.** "Condominium Documents" means this Master Deed and Exhibits A and B hereto, the Articles of Incorporation of the Association, the Association Bylaws and the Rules and Regulations, if any, of the Association.

3.07 **Condominium Premises.** "Condominium Premises" means the land and the buildings, all improvements and structures thereon, and all easements, rights and appurtenances belonging to River Pines of Farmington Condominium as described above.

3.08 **Condominium Subdivision Plan.** "Condominium Subdivision Plan" means Exhibit B hereto.

3.09 **Consolidating Master Deed.** "Consolidating Master Deed" means the final amended Master Deed which shall describe River Pines of Farmington Condominium as a completed

Condominium Project. The Consolidating Master Deed shall reflect the Convertible Areas (as defined herein) converted from time to time to increase the size of Condominium Units or to create new General or Limited Common Elements under Article VI and the final Condominium Premises adjusted for land added to or removed from the Condominium from time to time under Article VII. The Consolidating Master Deed shall also express percentages of value pertinent to each Unit as finally readjusted. The Consolidating Master Deed, when recorded in the Office of the Oakland County Register of Deeds, shall supersede the previously recorded Master Deed and all amendments thereto for River Pines of Farmington Condominium.

3.10 **Co-owner.** "Co-owner" means a person, firm, corporation, partnership, association, trust or other legal entity or any combination thereof who own one or more Units in the Condominium Project. The term "Owner," wherever used, shall be synonymous with the term "Co-owner."

3.11 **Developer.** "Developer" means Italo-American Condominium Corporation, a Michigan corporation, which has made and executed this Master Deed, and its successors and assigns.

3.12 **First Annual Meeting.** "First Annual Meeting" means the first meeting of the members of the Association at which the members elect at least one (1) member of the Board of Directors of the Association.

3.13 **Telecommunications System.** "Telecommunications System" means a system for videotext, broad band cable, satellite dish, earth antenna and similar telecommunication services.

3.14 **Transitional Control Date.** "Transitional Control Date" means the date on which a Board of Directors for the Association takes office pursuant to an election in which the votes which may be cast by eligible Co-owners unaffiliated with the Developer exceed the votes which may be cast by the Developer.

3.15 **Unit.** "Unit" means the enclosed space constituting a single complete residential unit in River Pines of Farmington Condominium, as described on Exhibit B, and shall have the same meaning as the term "Condominium Unit" as defined in the Act.

3.16 Whenever any reference is made to one gender, the same shall include a reference to any and all genders where the same would be appropriate; similarly, whenever a reference is made herein to the singular, a reference shall also be included to the plural where the same would be appropriate.

#### ARTICLE IV

##### COMMON ELEMENTS

The Common Elements of the Project described below and in Exhibit B and the respective responsibilities for maintenance, decoration, repair or replacement thereof are as follows:

4.01 **General Common Elements.** The Common Elements described below are General Common Elements:

(a) **Land.** The land described in Article II, including landscaping, roads, sidewalks and parking spaces not identified as Limited Common Elements.

(b) **Retention Ponds.** The retention ponds and well, if any, which may be constructed to renew the water level of the retention ponds.

(c) **Electrical.** The electrical meters and electrical wiring network throughout the Project, including that contained within Units and Unit walls, ceilings and floors, up to the point of connection with the electrical meter for any Unit.

(d) **Electrical Fixtures.** The electrical fixtures, plugs, switches, fuse boxes or electrical control panels, and any other similar item connected to the electrical wiring network, located outside the boundaries of a Unit and serving the General Common Elements and the related electrical wiring network.

(e) **Street Lighting.** Street lighting and other lighting serving the General Common Elements throughout the Project.

(f) **Telephone.** The telephone wiring network throughout the Project, including that contained within Units and Unit walls, floors and ceilings, up to the point of connection with the telephone junction box within a building or Unit.

(g) **Gas.** The gas meters and gas line network throughout the Project, including that contained within Units and Unit walls, floors and ceilings, up to the point of connection with the gas meter for any Unit.

(h) **Water.** The water meters not attached to any Unit and the water distribution system throughout the Project, including that contained within Units and Unit walls, floors or ceilings, up to the point of connection with the water meter for any Unit.

(i) **Plumbing Fixtures.** All plumbing fixtures located outside the boundaries of a Unit.

(j) **Sanitary Sewer.** The sanitary sewer system throughout the Project, up to the point of entry to the Unit it serves.

(k) **Storm Sewer.** The storm drainage system throughout the Project.

(l) **Cable Television.** The cable television wiring network throughout the Project, including that contained within Units and Unit walls, floors and ceilings, up to the point of connection with equipment within any Unit.

(m) **Telecommunications.** The telecommunications system throughout the Project, including wiring contained within

Units and Unit walls, floors and ceilings up to the point of connection with equipment within any Unit.

(n) **Irrigation.** The irrigation system throughout the Project, including the well, if constructed, water lines, valves, sprinkler heads, pumps and electrical equipment.

(o) **Mailbox Stands.** Any mailbox stand containing mailboxes throughout the Project.

(p) **Structural Elements.** The foundations, supporting columns, beams, perimeter walls (including windows, doorwalls, doors and garage doors), roofs, ceilings, floor construction, chimneys and other structural components.

(q) **Other.** All other elements of the Project not herein designated as Limited Common Elements which are not enclosed within the boundaries of a Unit, and which are intended for common use or necessary to the existence, upkeep and safety of the Project.

Some or all of the utility lines (including mains and service leads of the sanitary sewer, storm sewer, water system, electrical system, gas system, telephone system and cable television system) and equipment described above may be owned by the local public authority or by the company that is providing the pertinent service. Accordingly, such utility lines, systems and equipment shall be General Common Elements only to the extent of the Co-owners' interest therein, if any, and Developer makes no warranty whatever with respect to the nature or extent of such interest, if any.

**4.02 Limited Common Elements.** The Common Elements described below are Limited Common Elements and are assigned as follows:

(a) **Electrical.** The electrical wiring network contained within Units or Unit walls, floors or ceilings or located in any other portion of the Common Elements from the electrical meter for the Unit up to the point of connection with electrical fixtures, plugs and switches within or outside of the Unit, which is assigned to the Unit which it services.

(b) **Electrical Fixtures.** All electrical fixtures, plugs, switches, fuse boxes or electric control panels, and any other similar item connected to the electrical system assigned to a Unit located outside the boundaries of a Unit, which are assigned to the Unit which they service.

(c) **Outdoor Lighting.** Outdoor lighting located on or serving any patio, porch, courtyard or entryway.

(d) **Telephone.** The telephone wiring network contained within Unit walls or located in any other portion of the Common Elements or a Unit from the telephone junction box to the point of connection with telephone equipment within the Unit, which is assigned to the Unit which it services.

(e) **Gas.** The gas line network contained within Units or Unit walls, floors or ceilings, or located in any other

portion of the Common Elements from the gas meter for the Unit up to the point of connection with gas fixtures within or outside of the Unit, which is assigned to the Unit which it services.

(f) **Gas Fixtures.** The gas fixtures connected to the gas line network after the point of connection to the gas meter which are located outside of the boundaries of a Unit, which are assigned to the Unit which they serve.

(g) **Ductwork.** Heating and cooling ducts in any Unit walls, floors or ceilings, and any vents attached to such ducts, which are assigned to the Unit which they serve.

(h) **Water.** The water distribution system contained within Units or Unit walls, floors or ceilings or located in any other portion of the Common Elements from the water meter for the Unit up to the point of connection with plumbing fixtures within or outside the Unit, which is assigned to the Unit which it services.

(i) **Plumbing Fixtures.** All plumbing fixtures other than the irrigation system located outside the boundaries of a Unit and connected to the water distribution system which serves the Unit, which are assigned to the Unit which they serve.

(j) **Sanitary Sewer.** The sanitary sewer system contained within Units or Unit walls or floors or located in any other portion of the Common Elements from the first point of entry into the Unit, which is assigned to the Unit it serves.

(k) **Porch.** Each porch in the Project, which is assigned to the Unit which opens onto such porch as shown on Exhibit B.

(l) **Deck.** Each deck in the Project, where such is constructed, which is assigned to the Unit which opens onto such patio as shown on Exhibit B.

(m) **Privacy Walls.** Privacy walls behind or between each deck in the Project, where such is constructed, which is assigned to the Unit or Units which it serves.

(n) **Courtyard.** The space within each area designated as a courtyard in the Project, which is assigned to the Unit which opens into such courtyard as shown on Exhibit B.

(o) **Air-Conditioner.** Each air-conditioner compressor in the Project and the pad on which it is located, where such is installed, which is assigned to the Unit which such air-conditioner compressor services.

(p) **Garage.** The garage space and the interior surfaces of the ceilings, floors and perimeter walls contained in each garage in the Project, which is assigned to the Unit to which it is connected as shown on Exhibit B.

(q) **Garage Door Opener.** Each garage door opener, where such is installed, which is assigned to the Unit to which the garage is appurtenant.

(r) **Driveway.** The driveway adjacent to each garage, which is assigned to the Unit to which the garage is appurtenant as shown as Exhibit B.

(s) **Master Antenna.** Each television antenna system, if any, including the wiring contained within Unit walls up to the point of connection with television equipment within any Unit, which is assigned to the Units which it services.

(t) **Fireplace.** Each fireplace combustion chamber, where such is constructed which is assigned to the Unit into which it opens as shown on Exhibit B.

(u) **Mailboxes.** Each mailbox in the mailbox stand, which is assigned to the Unit which it serves.

(v) **Optional Landscaping.** Any trees, shrubbery or plants and other landscaping installed on the common elements by the Co-owner or by the Developer at the Co-owner's request, which shall be assigned to the Unit of the Co-owner who installed or requested the installation of the trees, shrubbery, plants or other landscaping.

(w) **Interior Surfaces.** The interior surfaces of ceilings, floors and perimeter walls contained within a Unit, which are assigned to the Unit of which they are a part.

The Limited Common Elements may be reassigned pursuant to the provisions of the Act.

**4.03 Responsibilities for Maintenance, Etc.** The respective responsibilities for the maintenance, decoration, repair and replacement of the Common Elements are as follows:

(a) **Limited Common Elements**

(i) **Co-owner.** The responsibility for and costs of maintenance, decoration, repair and replacement of the Limited Common Elements described in Article IV, Section 4.02 (a), (b), (c), (d), (e), (f), (g), (h), (i), (j), (l), (n), (o), (p), (q), (t), (v) and (w) shall be borne by the Co-owner of the Unit to which they are assigned.

(ii) **Co-owners.** The responsibility for and costs of maintenance, decoration, repair and replacement of the Limited Common Elements described in Article IV, Section 4.02 (s) shall be borne pro-rata by the Co-owners of the Units benefiting from such Limited Common Element.

(iii) **Association.** The responsibility for and costs of maintenance, decoration, repair and replacement of all Limited Common Elements described in Article IV, Section 4.02 (k), (m), (r) and (u) shall be borne by the Association and shall be an expense

of administration of the Condominium Project.

(b) **General Common Elements**

The responsibility for and costs of maintenance, decoration, repair and replacement of all General Common elements shall be borne by the Association and shall be an expense of administration of the Condominium Project.

(c) **Windows and Drywall.** Notwithstanding the responsibilities described in Article IV, Section 4.03 (b) above, the Co-owner of the Unit shall be responsible for and bear the cost of the replacement of any window in the Unit broken from the inside of the Unit and the repair or replacement of any drywall damaged from the inside of the Unit. The Association shall be responsible for and bear the cost of replacing any other broken window or damaged drywall.

(d) **Damage by Co-owner, Guest, Etc..** Each Co-owner shall be responsible for damages to the Project or costs to the Association resulting from damage to, or misuse of, any of the Common Elements by the Co-owner, or his family, guests, agents, invitees or tenants or the family, guests, agents or invitees of his tenants.

(e) **Use of Common Elements.** No Co-owner shall use his Unit or the Common Elements in any manner inconsistent with the purposes of the Project or in any manner which will interfere with or impair the rights of any other Co-owner in the use and enjoyment of his Unit or the Common Elements.

(f) **Failure of Co-owner to Maintain.** In the event a Co-owner shall not maintain, decorate, repair or replace those Common Elements for which the Co-owner is responsible as described above, the Association may maintain, decorate, repair or replace the same and charge the cost of any such maintenance, decoration, repair or replacement to that Co-owner by adding such cost to the monthly assessment of that Co-owner.

**ARTICLE V**

**UNIT DESCRIPTION AND PERCENTAGE OF VALUE**

5.01 **Description of Units.** Each Unit in the Condominium Project is described in this paragraph with reference to the Condominium Subdivision Plan of River Pines of Farmington Condominium as surveyed by Ziemet-Wozniak & Associates, Inc. Registered Land Surveyor, which is attached hereto as Exhibit B. Each Unit shall include: (1) with respect to each Unit basement, all that space contained within the unpainted surfaces of the basement floor and walls and the uncovered underside of the first-floor joists, and (2) with respect to upper floors of Units, all that space contained within the interior unpainted walls and ceilings and from the plywood subfloor all as shown on the floor plans and sections in Exhibit B and delineated with heavy outlines. The dimensions shown on basement and foundation plans in Exhibit B have been or will be physically measured by Ziemet-Wozniak & Associates, Inc. In the event that the

dimensions on the measured foundation plan of any specific Unit differ from the dimensions on the typical foundation plan for such Unit shown in Exhibit B, then the typical upper-floor plans for such Unit shall be deemed to be automatically changed for such specific Unit in the same manner and to the same extent as the measured foundation plan.

**5.02 Percentages of Value and Voting Rights.** The percentage of value assigned to each Unit shall be determined based on the relative size of each floor of a Unit and one-half the size of each basement of a Unit, excluding variations in area due to wall thickness. The determination of the size of the second floor of each Unit shall be exclusive of the area of any optional loft or bedroom. Further, the size of the Unit for the purposes of determining percentage of value shall be increased by ten (10%) percent for any detached Unit and by ten (10%) percent for any Unit which has a walkout basement. The percentage of value assigned to each Unit is set forth below. The percentage of value assigned to each Unit shall be determinative of the proportionate share of each respective Co-owner in the proceeds and expenses of administration and the value of such co-owner's vote at meetings of the Association of Co-owners. The total value of the Project is one hundred (100%) percent. Each Unit number as it appears on the Condominium Subdivision Plan and the percentage of value assigned to each Unit is as follows:

Unit Number	Percentage of Value
1	26.56%
2	23.69%
3	23.69%
4	26.06%

**5.03 Modification of Units.** The dimensions of Units or Limited Common Elements may be modified, in the Developer's sole discretion, by enlargement or reduction in size, by an amendment effected solely by the Developer without the consent of any other person, so long as such modifications do not unreasonably impair or diminish the appearance of the Project or the view, privacy or other significant attribute or amenity of any Unit which adjoins or is proximate to the modified Unit or Limited Common Element. Further, the Developer may, in connection with any such amendment, readjust the percentages of value for all Units in a manner which gives reasonable recognition to such Unit or Limited Common Element modifications based upon the method of original determination of percentages of value for the Project. All of the Co-owners and mortgagees of Units and other persons interested, or to become interested in the Project from time to time, shall be deemed to have unanimously consented to such amendment or amendments to this Master Deed to effectuate the foregoing and, subject to the limitations set forth herein, any proportionate reallocation of percentages of value of existing Units which the Developer may determine necessary in conjunction with such amendment or amendments. All such interested persons irrevocably appoint the Developer as their agent and attorney-in-fact for the purpose of execution of such amendment or amendments to the Master Deed and all other documents necessary to effectuate the foregoing.

**ARTICLE VI**  
**CONVERTIBLE AREA**

6.01 **Designation of Convertible Areas.** The areas extending fifteen (15) feet out from the exterior surface, including the roof and foundation, of each building as stated on the Condominium Subdivision Plan, are hereby designated as convertible areas ("Convertible Areas").

6.02 **Developer's Right to Convert.** Any other provision of this Master Deed notwithstanding, the Developer reserves the right, in its sole discretion, during a period ending six (6) years after the date of recordation of this Master Deed to convert any of such areas from a Convertible Area General or Limited Common Element to another General Common Element or Limited Common Element or to an additional part of a Unit and new appurtenant Limited Common Elements. The Convertible Areas may be converted for the purpose of expanding Units and adding such features as patios, decks, fencing, garden areas, solariums, atriums, hot tubs, saunas, swimming pools, bay windows or additions.

6.03 **Compatibility of Improvements.** All improvements constructed within the Convertible Areas described above shall be reasonably compatible with the structures and improvements in other portions of the Condominium Project.

6.04 **Restrictions on Conversion.** No additional Units will be created within the Convertible Areas (although the size of a Unit may be increased within a Convertible Area). There are no restrictions on the right of the Developer to create new General Common Elements, Limited Common Elements or to add to Units and create new appurtenant Limited Common Elements from the Convertible Areas of the Project other than as explicitly set forth herein. The consent of any Co-owner is not required in relation to the election of the Developer. There is no obligation on the part of the Developer to convert any portion of the Convertible Area described in this Article nor is there any obligation to convert portions thereof in any particular order nor to construct particular improvements thereon in any specific locations.

6.05 **Amendment of Master Deed.** The conversion of any part of the Convertible Area shall be given effect by an appropriate amendment or amendments to this Master Deed in the manner provided by law, which amendment or amendments shall be prepared by and at the discretion of the Developer. Such amendment or amendments to the Master Deed shall also contain such new definitions of General or Limited Common Elements as may be necessary to adequately describe any new Common Elements and the percentage of value set forth in Article V hereof shall be proportionately readjusted to take into account the increase in the size of any Units so as to preserve a total value of 100 for the entire Project. The precise determination of the readjustments in the percentages of value shall be within the sole judgment of the Developer. Such readjustments, however, shall reflect a continuing reasonable relationship among percentages of value based upon the original method of determining the percentages of value described in Article V. In connection with

any such amendment, the Developer shall have the right to change the nature of any Common Elements previously included in the Project for any purpose reasonably necessary to achieve the purposes of this Article. Such amendments may be effected without the necessity of rerecording an entire Master Deed or the Exhibits thereto and may incorporate by reference all or any pertinent portions of this Master Deed and the Exhibits hereto; provided, however, that a Consolidating Master Deed, when recorded, shall supersede the previously recorded Master Deed and all amendments thereto.

**6.06 Consent of Interested Parties.** All of the Co-owners and mortgagees of Units and other persons interested or to become interested in the Project from time to time shall be deemed to have irrevocably and unanimously consented to such amendment or amendments of this Master Deed to effectuate the foregoing. All such interested persons irrevocably appoint the Developer as their agent and attorney-in-fact for the purpose of execution of such amendment or amendments to the Master Deed and all other documents necessary to effectuate the foregoing.

## ARTICLE VII

### EXPANSION OR CONTRACTION OF THE CONDOMINIUM

**7.01 Right to Expand or Contract.** As of the date this Master Deed is recorded, the Developer intends to establish a Condominium Project consisting of one (1) building containing four (4) Units on the land described in Article II hereof, all as shown on the Condominium Subdivision Plan. However, the Developer reserves the right to expand the number of buildings and Units to be constructed on some portion of the land described as follows:

Part of the Northwest 1/4 of Section 33 and part of the Northeast 1/4 of Section 32, Town 1 North, Range 9 East, City of Farmington Hills, Oakland County, Michigan, described as:

Beginning at a point distant North 89 degrees 53 minutes 50 seconds East 33.00 feet along the North line of said Section 33, said line also being the centerline of Nine Mile Road from the Northwest corner of said Section 33; thence from said point of beginning North 89 degrees 53 minutes 50 seconds East 329.67 feet; thence South 00 degrees 10 minutes 04 seconds East 600.00 feet; thence North 89 degrees 53 minutes 50 seconds East 197.85 feet; thence North 00 degrees 10 minutes 04 seconds West 600.00 feet; thence along said North line of Section 33 North 89 degrees 53 minutes 50 seconds East 701.55 feet; thence South 00 degrees 03 minutes 30 seconds East 1320.37 feet; thence North 89 degrees 51 minutes 11 seconds East 923.62 feet; thence South 00 degrees 06 minutes 05 seconds East 576.32 feet; thence South 74 degrees 58 minutes 54 seconds West 45.15 feet; thence North 70 degrees 05 minutes 26 seconds West 250.00 feet; thence along the North line of Fendt's Hilldale Subdivision

recorded in Liber 62, Page 42, Oakland County Records South 19 degrees 55 minutes 41 seconds West 271.11 feet; thence South 89 degrees 56 minutes 14 seconds West 1810.90 feet; thence North 00 degrees 10 minutes 04 seconds West 747.65 feet; thence along the North line of Green Hill Commons No. 3 recorded in Liber 157, Pages 27 and 28, Oakland County Records North 89 degrees 49 minutes 38 seconds West 874.54 feet; thence North 00 degrees 10 minutes 01 seconds West 1326.22 feet; thence South 89 degrees 56 minutes 00 seconds East 436.50 feet; thence South 00 degrees 10 minutes 00 seconds East 309.87 feet; thence North 89 degrees 50 minutes 00 seconds East 135.00 feet; thence South 41 degrees 49 minutes 23 seconds East 173.69 feet; thence North 45 degrees 38 minutes 51 seconds East 62.23 feet; thence 82.17 feet along the arc of a curve to the left said curve having a radius of 567.58 feet, a central angle of 08 degrees 17 minutes 41 seconds, a chord length of 82.10 feet and a chord bearing of North 41 degrees 30 minutes 00 seconds East; thence North 37 degrees 21 minutes 10 seconds East 199.27 feet; thence North 00 degrees 10 minutes 04 seconds West 175.07 feet; to the point of beginning.

Also including a parcel located in part of the Northeast 1/4 of said Section 32 North 89 degrees 56 minutes 00 seconds West 33.00 feet along the North line of said Section 32 also being the centerline of Nine Mile Road from the Northeast corner of said Section 32; thence from said point of beginning South 00 degrees 10 minutes 04 seconds East 189.40 feet; thence 30.46 feet along the arc of a curve to the right, said curve having a radius of 46.52 feet, a central angle of 37 degrees 31 minutes 14 seconds, a chord length of 29.93 feet and a chord bearing of South 20 degrees 24 minutes 21 seconds West; thence South 37 degrees 21 minutes 10 seconds West 119.22 feet; thence 77.10 feet along the arc of a curve to the right, said curve having a radius of 532.58 feet, a central angle of 08 degrees 17 minutes 41 seconds, a chord length of 77.03 feet, and a chord bearing of South 41 degrees 30 minutes 01 seconds West; thence South 45 degrees 38 minutes 51 seconds West 38.66 feet; thence North 41 degrees 49 minutes 23 seconds West 163.69 feet; thence North 49 degrees 13 minutes 09 seconds East 85.56 feet; thence North 00 degrees 04 minutes 00 seconds East 219.30 feet; thence South 89 degrees 56 minutes 00 seconds East 205.01 feet to the point of beginning.

The Developer shall have the right to expand the Condominium Project up to a total of forty-nine (49) additional buildings comprising a maximum of three hundred ninety-six (396) additional Units. Therefore, any other provisions of this Master Deed to the contrary notwithstanding, the number of buildings and/or Units in this Condominium Project may, at the option of the Developer or its successors or assigns, from time to time,

within a period ending six (6) years after the date of recordation of this Master Deed, be increased as aforesaid or contracted to any number determined by the Developer in its sole judgment, but in no event shall the number of buildings be less than one (1) or more than eighty (80) and the number of Units be less than four (4) or more than four hundred (400).

The Developer reserves the right to withdraw land from the area described in this Section 7.01 and to modify the legal description of the boundaries thereof.

**7.02 Withdrawal of Land.** In connection with any contraction of the Condominium Project, the Developer unconditionally reserves the right to withdraw from the Condominium Project such portion or portions of the land described in Article II (as it may be amended from time to time) as is not reasonably necessary to provide access to or otherwise serve the Units included in the Condominium Project as so contracted. The Developer reserves the right to use the portion of the land so withdrawn to establish, in its sole discretion, a rental development, a separate condominium project (or projects) or any other form of development.

**7.03 Restrictions on Expansion.** The additional Units shall be substantially compatible in nature and appearance with other existing Units in the Condominium. All Condominium Units constructed on the land which may be added to the Project are restricted exclusively to residential use. There are no restrictions on the election of the Developer to expand the Project other than as explicitly set forth herein. The consent of any Co-owner is not required in relation to the election of the Developer. There is no obligation on the part of the Developer to add to the Condominium Project any portion of the area of future development described in this Article VII nor is there any obligation to add portions thereof in any particular order nor to construct particular improvements thereon in any specific locations. The Developer may establish on land designated as proposed future development on the Condominium Subdivision Plan which is not included in the Condominium, a rental development, a separate condominium project (or projects) or any other form of development.

**7.04 Right to Modify Floor Plans.** The Developer further reserves the right to amend and alter the floor plans and/or elevations of any buildings and/or Units described in Exhibit B. The nature and appearance of all such altered buildings and/or Units shall be determined by Developer in its sole judgment; but, in no event shall such altered buildings and/or Units deviate substantially from the general development plan approved by the City of Farmington Hills.

**7.05 Amendment of Master Deed.** An enlargement or reduction in the size of this Condominium Project shall be given effect by an appropriate amendment or amendments to this Master Deed in the manner provided by law, which amendment or amendments shall be prepared by and at the discretion of the Developer. The percentages of value set forth in Article V hereof shall be proportionately readjusted to take into account the additional Units so as to preserve a total value of 100 for the entire Project. The precise determination of the readjustments in the

percentages of value shall be within the sole judgment of the Developer. Such readjustments, however, shall reflect a continuing reasonable relationship among percentages of value based upon the original method of determining the percentages of value described in Article V. Such amendment or amendments to the Master Deed shall also contain such further definitions of General or Limited Common Elements as may be necessary to adequately describe the buildings and Units in the Condominium Project as so enlarged. Such amendments may be effected without the necessity of rerecording an entire Master Deed or the Exhibits thereto and may incorporate by reference all or any pertinent portions of this Master Deed and the Exhibits hereto; provided, however, that a Consolidating Master Deed, when recorded, shall supersede the previously recorded Master Deed and all amendments thereto.

**7.06 Consent of Interested Parties.** All of the Co-owners and mortgagees of Units and other persons interested or to become interested in the Project from time to time shall be deemed to have irrevocably and unanimously consented to such amendment or amendments of this Master Deed to effectuate the foregoing and to any proportionate reallocation of percentages of value of Units which Developer may determine necessary in conjunction with such amendment or amendments. All such interested persons irrevocably appoint Developer as their agent and attorney-in-fact for the purpose of execution of such amendment or amendments to the Master Deed and all other documents necessary to effectuate the foregoing.

## **ARTICLE VIII**

### **RECREATIONAL FACILITIES**

**8.01 Election to Construct.** The Developer may, in its sole discretion and at its sole cost, construct recreational facilities within the area of proposed future development described in Article VII including, but not limited to, a community building, swimming pool or other related amenity (hereinafter called the "Recreational Facilities"). Developer has no obligation to construct any Recreational Facilities. Final determination of the nature, design, layout and location of the Recreational Facilities, if constructed, will be at the sole discretion of the Developer.

**8.02 Rights of Use and Sharing of Costs.** It is intended that the Recreational Facilities, if constructed, will be designed for the use of Co-owners of the Condominium, not exceeding four hundred (400) such Units. Such facilities may be utilized, as provided below, by the occupants of Units located in the land described in Article II hereof, together with the area of proposed future development described in Article VII hereof. Since the ultimate size of the Condominium depends on market conditions from time to time and is not, therefore, presently predictable, it is possible that the area of proposed future development, as provided in Article VII, may ultimately consist of one or more condominium or multi-family rental developments. Developer, therefore, reserves the right on behalf of itself, its successors and assigns as owner of any Unit for sale or for rent, owned by it, its successors or assigns, located in the land areas

described in said Article II or VII, to utilize the Recreational Facilities upon payment of a proportionate share of the expenses of operation, repair, maintenance and replacement of such facilities. The proportionate share shall be based on the number of dwelling units on the land. The share of such expenses attributable to each such Unit shall be determined by multiplying the expenses of operation, maintenance, repair and replacement of the Recreational Facilities times a fraction, the numerator of which is one and the denominator of which is the number of dwelling units for which Certificates of Occupancy have been issued and which are entitled to use and obligated to support such facility pursuant to this easement. The owner of more than one (1) Unit shall pay the requisite share of such expenses attributable to each unit so owned. Any right to utilize said facilities by any person other than the Developer and Co-owners in the Condominium shall be created by a specific recorded instrument granting or assigning such right and expressly imposing upon the Owner of such Unit and his successors in title the obligation to bear the requisite proportionate share of such expenses. In no event, however, shall more than four hundred (400) Units be entitled to use the Recreational Facilities. The expenses of operation, repair, maintenance and replacement of the Recreational Facilities shall be deemed to include, but not necessarily be limited to, expenses incurred for hazard and liability insurance, personnel required to staff, maintain and repair said facilities, supplies incident thereto, real and personal property taxes in connection therewith and, in general, all expenses reasonably necessary or incident to the operation, maintenance, repair and replacement of said facilities. The easement for the use of Recreational Facilities retained hereunder shall also include a perpetual easement over the Condominium for reasonable pedestrian and vehicular ingress and egress to and from said Recreational Facilities for the reasonable use thereof by all persons entitled to such use.

**8.03 Administration of Recreational Facilities.** In the event that persons other than Co-owners of Condominium Units in the Condominium become entitled to use the Recreational Facilities, then decisions relating to the administration and maintenance of said facilities shall be made by a representative operating committee comprised of at least five (5) persons selected on a pro-rate basis by the Owners of dwelling units entitled to use the facility. Until the time that final composition of the users of such facilities has been determined, the Recreational Facilities shall be administered and maintained by the Condominium Association at which time the Developer shall determine the composition of such representative body in a manner which is fair and equitable. The Condominium Association shall be the owner of the Recreational Facilities. Regardless of the identity or composition of the representative administering body, all decisions relative to the administration and maintenance of the Recreational Facilities shall be governed by the following standards: (1) the Recreational Facilities shall be fairly and jointly administered; (2) an annual operating budget for said Recreational Facilities shall be prepared and all expenditures shall be consistent with said budget and subject to audit by all parties; (3) said budget shall provide reasonable maintenance of the Recreational Facilities; (4) no additions to the Recreational Facilities nor termination of the use thereof shall occur without the consent of sixty (60%) percent of the parties entitled to the

use thereof; (5) rules relating to the use of said facilities may be adopted by the representative body entitled to administer said facilities but shall be equitable and nondiscriminatory as to all users; (6) any easements of access reasonably necessary for utilization of the facilities by all persons entitled thereto shall be deemed to exist by reason hereof; (7) all disputes between parties entitled to the use of said facilities shall be subject to arbitration in accordance with the rules of the American Arbitration Association in effect at the time of the dispute; and (8) the failure of any party to pay its required share of the costs of operation, maintenance, repair and replacement of said facilities shall operate to suspend the right of said party to utilize said Recreational Facilities for so long as such costs shall remain unpaid (which remedy shall be in addition to all other remedies provided under the Condominium Documents or provided in any other instruments pertaining to the use of said facilities by any person or persons).

## ARTICLE IX

### EASEMENTS

**9.01 Easements for Maintenance of Encroachments, Access and Support.** In the event any portion of a Unit or Common Element encroaches upon another Unit or Common Element due to shifting, settling or moving of a building, or due to survey errors, or construction deviations, reciprocal easements for the benefit of the Co-owners shall exist for the maintenance of such encroachment for so long as such encroachment exists, and for maintenance thereof after rebuilding in the event of any destruction. There shall be easements to the benefit of the Co-owners and the Association to, through and over those portions of the land, structures, buildings, improvements, floors and walls (including interior Unit walls) contained therein for the continuing maintenance, repair and replacement of all utilities and related fixtures, including water, sanitary sewer, gas, electricity and telephone and all Common Elements in the Condominium. There shall exist easements of support with respect to any Unit interior wall which supports a Common Element.

### 9.02 Easements Retained by the Developer

(a) **Easements for Ingress, Egress and Parking.** The Developer reserves for the benefit of itself and the land described in Article VII, or any portion or portions thereof, perpetual easements for the unrestricted use of all roads, driveways and walkways in the Condominium for the purpose of ingress to and egress from all or any portion of the parcel described in Article VII. As long as such easements exist, all expenses of maintenance, repair, replacement and resurfacing of any road, drive or walkway referred to in this Article shall be shared by this Condominium and any developed portions of the contiguous land described in Article VII whose closest means of access to a public road is over such road or roads. The Co-owners of this Condominium shall be responsible for the maintenance of such road or roads and shall be obligated from time to time for payment of a proportionate share of said expenses which share shall be determined by multiplying such expenses times a fraction, the numerator of which is the number

of Units in this Condominium, and the denominator of which is comprised of the total number of dwelling units for which Certificates of Occupancy have been issued, which are served by such roads, drives and walkways.

(b) **Utility Easements.** The Developer reserves for the benefit of itself and the land described in Article VII, or any portion or portions thereof, perpetual easements to utilize, tap, tie into, extend and enlarge all utility mains located on the Condominium Premises, including, but not limited to, water, gas, electricity, telephone, telecommunication systems, storm and sanitary sewer mains. In the event the Developer utilizes, taps, ties into, extends or enlarges any utilities located on the Condominium Premises, it shall be obligated to pay all of the expenses reasonably necessary to restore the Condominium Premises to their state immediately prior to such utilization, tapping, tying-in, extension or enlargement. All expenses of maintenance, upkeep, repair and replacement of the utility mains described in this Article shall be shared by this Condominium and any developed portions of the contiguous land described in Article VII who benefit from such utility mains. The Co-owners of this Condominium shall be responsible from time to time for payment of a proportionate share of said expenses which share shall be determined by multiplying such expenses times a fraction, the numerator of which is the number of dwelling units in this Condominium, and the denominator of which is comprised of the number of such Units plus all other dwelling units for which Certificates of Occupancy have been issued located in the adjoining land described in Article VII who benefit from such utility mains. Provided, however, that the foregoing expenses are to be so paid and shared only if such expenses are not borne by a governmental agency or public utility. Provided, further, that the expense sharing shall be applicable only to utility mains and all expenses of maintenance, upkeep, repair and replacement of utility leads shall be borne by the Association to the extent such leads are located on the Condominium and by the owner or owners of the land described in Article VII or any portion thereof upon which are located the dwelling units which such lead or leads service.

9.03 **Grant of Easements by Association.** The Association, acting through its lawfully constituted Board of Directors (including any Board of Directors acting prior to the Transitional Control Date) shall be empowered and obligated to grant such easements, licenses, rights-of-entry and rights-of-way over, under and across the Condominium Premises for utility purposes, access purposes or other lawful purposes as may be necessary for the benefit of the Condominium or for the benefit of any other land described in Article VII hereof; subject, however, to the approval of the Developer so long as the Developer shall offer a Unit for sale.

9.04 **Easements for Maintenance, Repair and Replacement.** The Developer, the Association and all public or private utilities shall have such easements as may be necessary over the Condominium Premises, including all Units and Common Elements to fulfill any responsibilities of maintenance, repair, decoration or replacements which they or any of them are required or permitted to perform under the Condominium Documents. These easements include, without any implication of limitation, the

right of the Association to obtain access during reasonable hours and upon reasonable notice to water meters, sprinkler controls and valves and other Common Elements located within any Unit or its appurtenant Limited Common Elements.

**9.05 Dedication of Certain Easements.** The Developer reserves the right to grant easements over, under and across the Condominium Premises for streets and utilities and to dedicate rights-of-way and utilities to the public, appropriate governmental agencies or public utility companies and to transfer title of utilities to state, county or local governments for such consideration as the Developer shall determine in its sole discretion. Any such dedication, easement or transfer of title may be made by the Developer without the consent of any Co-owner, mortgagee or other person and shall be evidenced by an appropriate amendment to this Master Deed and to Exhibit B hereto, recorded in the Oakland County Records. All of the Co-owners and mortgagees of Units and other persons interested or to become interested in the Project from time to time shall be deemed to have irrevocably and unanimously consented to such amendment or amendments of this Master to effectuate the foregoing grant of easements or dedication. After the sale of the last Unit by the Developer, this right shall be assigned to the Association and may be exercised by the (or as replacements for such standard items to the extent replacement cost exceeded the original cost of such standard items) whether installed originally by the Developer or subsequently by the Co-owner, and the Association shall have not responsibility for obtaining such coverage unless agreed specifically and separately between the Association and the Co-owner in writing. Any improvements made by a Co-owner within his Unit shall be covered by easements, licenses and other rights of entry, use and access and to enter into any contract or agreement, including wiring agreements, right-of-way agreements, access agreements and multi-unit agreements and, to the extent allowed by law, contracts for sharing of any installation or periodic subscriber service fees as may be necessary, convenient or desirable to provide for telecommunications, videotext, broad band cable, satellite dish, earth antenna and similar services (collectively "Telecommunications") to the Project or any Unit therein. Notwithstanding the foregoing, in no event shall the Board of Directors enter into any contract or agreement or grant any easement, license or right of entry or do any other act or thing which will violate any provision of any federal, state or local law or ordinance. Any and all sums paid by any telecommunications or other company or entity in connection with such service, including fees, if any, for the privilege of installing same or sharing periodic subscriber service fees, if paid to the Association, shall be receipts affecting the administration of the Condominium Project within the meaning of the Act and shall be paid over to and shall be the property of the Association.

## **ARTICLE X**

### **AMENDMENTS**

**10.01 Amendments by Developer and Association.** Amendments may be made and recorded by Developer or by the Association

without the consent of Co-owners or mortgagees if the amendment does not materially alter or change the rights of a Co-owner or mortgagee or if it is for one or more of the purposes stated in Section 10.03 hereof. Any amendment made by the Association must be approved by the owners of a simple majority of the number of Units in the Condominium (unless a greater majority is specified in the Condominium Bylaws).

**10.02 Amendments Requiring Two-Thirds (2/3) Approval.**

Except as otherwise provided herein, the Master Deed, Condominium Bylaws and Condominium Subdivision Plan may be amended, by the Developer or the Association, even if the amendment will materially alter or change the rights of the Co-owners or mortgagees, with the consent of not less than two-thirds (2/3) of the votes of the Co-owners and mortgagees (unless a greater majority is specified in the Condominium Bylaws). A mortgagee shall have one (1) vote for each mortgage held. The Association may make no amendment without the written consent of the Developer as long as the Developer owns any Units in the Condominium or has the right to enlarge the Condominium.

**10.03 Amendments Not Requiring Two-Thirds (2/3) Approval.** Notwithstanding any contrary provision of this Master Deed or the Condominium Bylaws or Association Bylaws (but subject to the limitation contained in Section 10.04), the Developer reserves the right to amend materially this Master Deed or any of its Exhibits for any of the following purposes:

(a) To redefine Common Elements and/or adjust percentages of value in connection therewith, to redefine any converted area, to relocate garages, as Limited Common Elements as heretofore provided in this Master Deed, to define or redefine air-conditioner pads as General or Limited Common Elements, to equitably allocate the Association's expenses among the owners and to make any other amendments specifically described and permitted to Developer in any provision of this Master Deed;

(b) To modify the types and sizes of unsold Condominium Units and their appurtenant Limited Common Elements and/or percentages of value and to modify the General Common Elements in the area of unsold Units;

(c) To amend the Condominium Bylaws, subject to any restrictions on amendments stated therein;

(d) To correct arithmetic errors, typographical errors, survey or plan errors, deviations in construction or any similar errors in the Master Deed, Condominium Subdivision Plan or Condominium Bylaws or to correct errors in the boundaries or locations of improvements;

(e) To clarify or explain the provisions of the Master Deed or its Exhibits;

(f) To comply with the Act or rules promulgated thereunder or with any requirements of any governmental or quasi-governmental agency or any financing institution providing or proposing to provide a mortgage on any Unit or to satisfy the title requirements of any title insurer insuring or proposing to insure title to any Unit;



Cottone, Treasurer of ITALO-AMERICAN CONDOMINIUM CORPORATION, on behalf of the corporation.

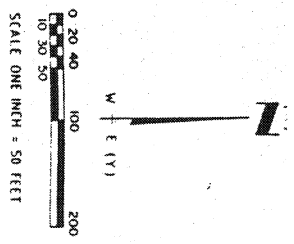
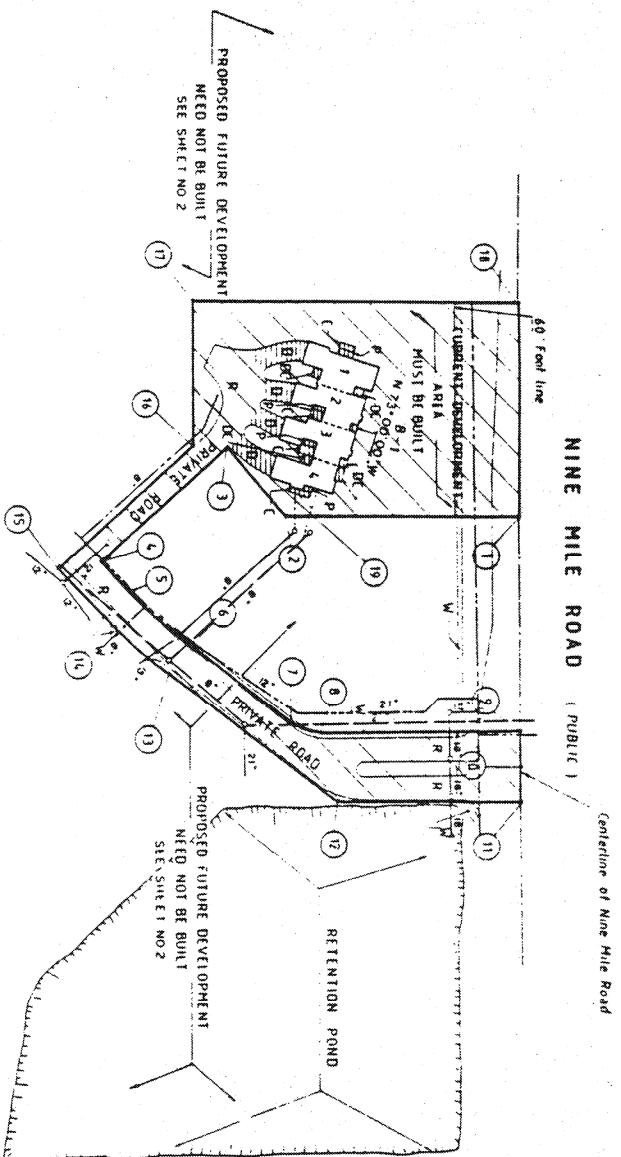
/s/ Diane B. Connelly  
Diane B. Connelly  
Notary Public Macomb County, MI  
My Commission Expires: 3/20/88

MASTER DEED DRAFTED BY:

Jeffrey A. Supowit  
MAGER, MONAHAN, DONALDSON & ALBER  
2000 First National Building  
Detroit, Michigan 48226

WHEN RECORDED, RETURN TO DRAFTER





PROPOSED FUTURE DEVELOPMENT  
NEED NOT BE BUILT  
SEE SHEET NO 2

NOTE  
ALL SANITARY SEWER LEADS ARE 6"  
GAS, POWER AND PHONE LINES WILL BE SHOWN  
ON AS BUILT DRAWINGS  
UTILITY METERS WILL BE SHOWN ON AS BUILT DRAWINGS  
12" DENOTES SIZE OF UTILITY

- NOTE**
- 3 DENOTES UNIT NUMBER
  - DENOTES IRON PIPE
  - DENOTES CONCRETE MONUMENT
  - D DENOTES DRIVE - LIMITED COMMON ELEMENT
  - W DENOTES WALK - GENERAL COMMON ELEMENT
  - ① DENOTES COORDINATE
  - N 00° 00' 00" W DENOTES BUILDING BEARING
  - P DENOTES PORCH
  - C DENOTES COURT YARD LIMITED COMMON ELEMENT
  - DC DENOTES DECK
  - WALKS WILL BE SHOWN ON AS BUILT DRAWINGS
  - GENERAL COMMON ELEMENT
  - LIMITED COMMON ELEMENT
  - LIMITED COMMON ELEMENT
- GARAGES ARE LIMITED COMMON ELEMENT  
SEE FLOOR PLANS DETAIL OF PORCHES, DECKS, & COURT YARDS  
UNITS 1 THRU 4, MUST BE BUILT  
8-1 DENOTES BUILDING NUMBER  
R DENOTES ROAD  
15 FOOT CONVERTIBLE AREA AROUND ENTER BUILDING

COORDINATE VALUES

PT	NORTH	EAST
1	5000.27	4761.98
2	4780.97	4761.73
3	4725.08	4696.96
4	4603.10	4806.10
5	4630.12	4833.74
6	4687.82	4884.78
7	4780.16	4960.30
8	4810.64	4970.55
9	5000.03	4967.00

LEGEND

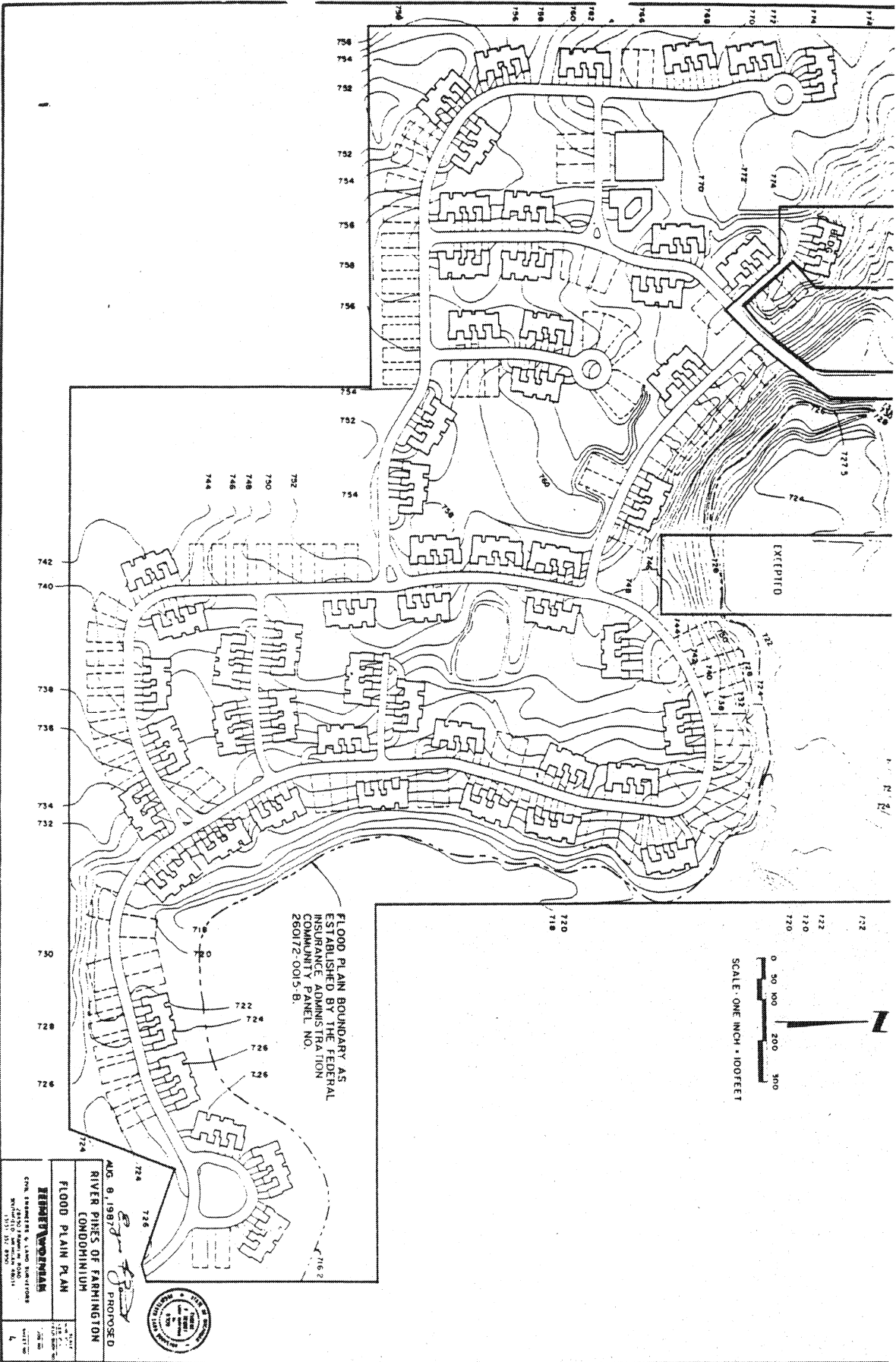
UTILITY	SOURCE OF LOCATION
WATER	ZEHMET WOZNIAK & ASSOC. INC
SANITARY SEWER	ZEHMET WOZNIAK & ASSOC. INC
STORM SEWER	ZEHMET WOZNIAK & ASSOC. INC
GAS	
POWER METERS	
TELEPHONE	
SERVICE LEAD	

WILL BE SHOWN ON AS BUILT DRAWINGS

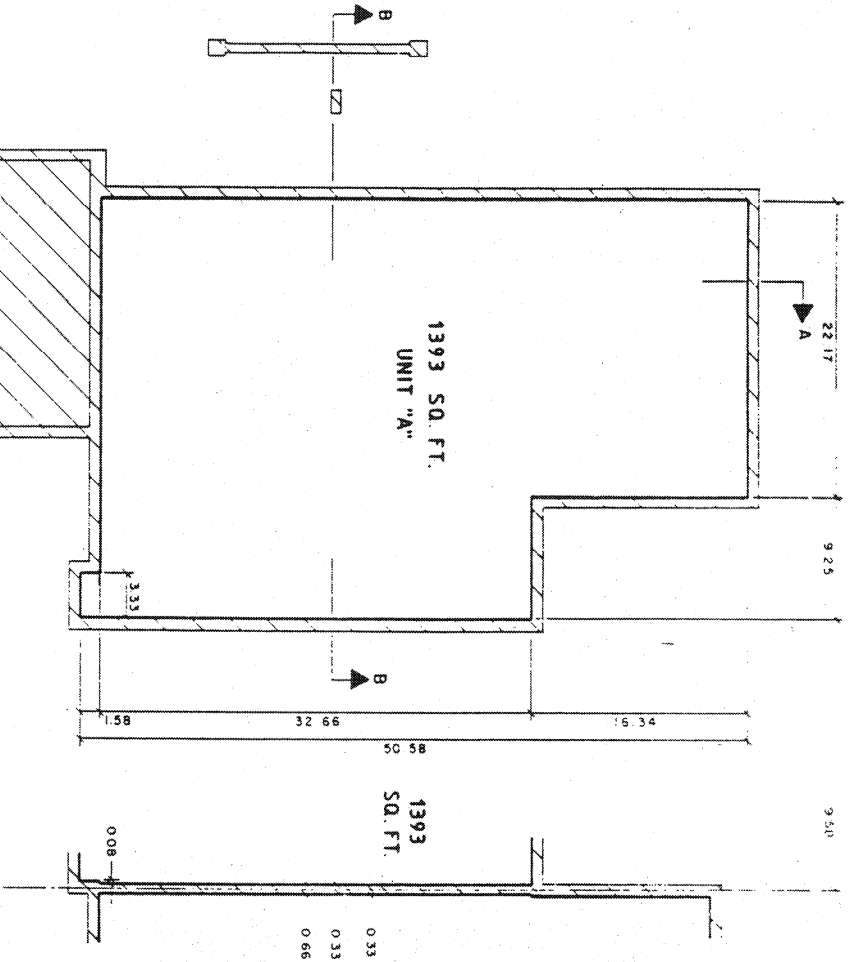


DESIGNED BY: *[Signature]*  
 DRAWN BY: *[Signature]*  
 CHECKED BY: *[Signature]*  
 DATE: AUG. 8, 1987  
 PROJECT: RIVER PLAINS OF FARMINGTON CONDOMINIUM  
 SHEET: 3 OF 3  
 SITE AND UTILITY PLAN  
 ZEHMET WOZNIAK & ASSOCIATES, INC.  
 CIVIL ENGINEERS & LAND SURVEYORS  
 1111 N. WASHINGTON ST., CHICAGO, ILL. 60610  
 PHONE: (312) 462-1111  
 FAX: (312) 462-1112





BLDG NO. 1 UNIT NO. 1



GENERAL COMMON ELEMENT

LIMITED COMMON ELEMENT

LIMITS OF OWNERSHIP

ALL OWNERSHIP LINES ARE 90° (±) EACH OTHER

ALL WALLS ARE 0.83 UNLESS OTHERWISE NOTED

SCALE: 1/4" = 1'-0" FOOT

0 5 10 15

APR 8, 1987

RIVER PLAZA OF FARMINGTON CONDOMINIUM

TYPICAL BASEMENT PLAN FOR UNIT TYPE "A"

HERBERT VOIGTMAN

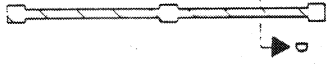
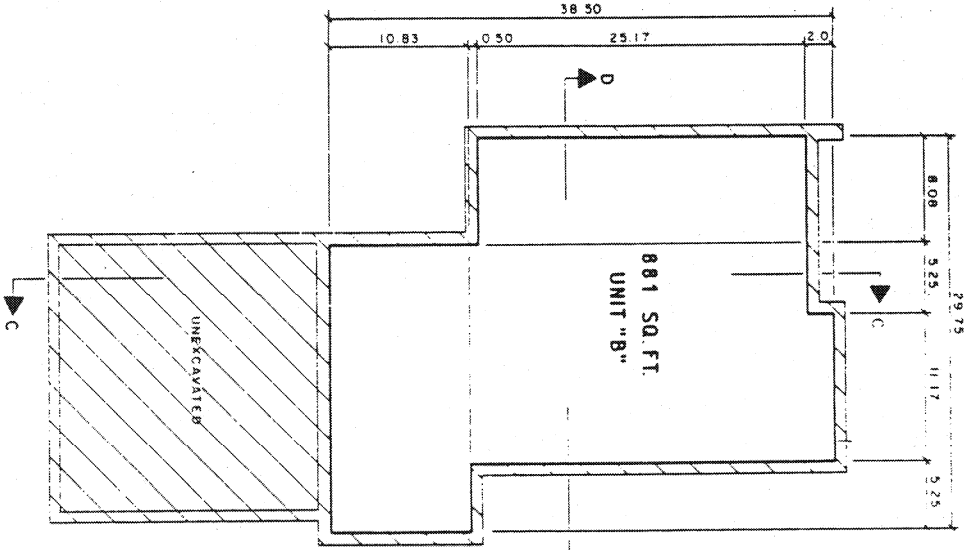
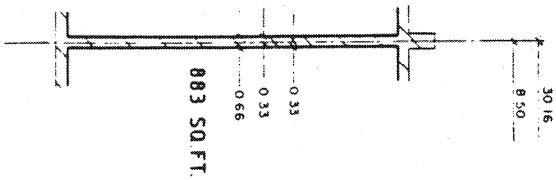
PROPOSED

5



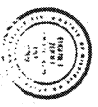
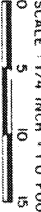


FIELD NO. 1 UNIT NO. 4



GENERAL COMMON ELEMENT  
LIMITED COMMON ELEMENT  
LIMITS OF OWNERSHIP

ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
ALL WALLS ARE 0.83 UNLESS OTHERWISE NOTED  
SCALE: 1/4" INCH = 1.0 FOOT



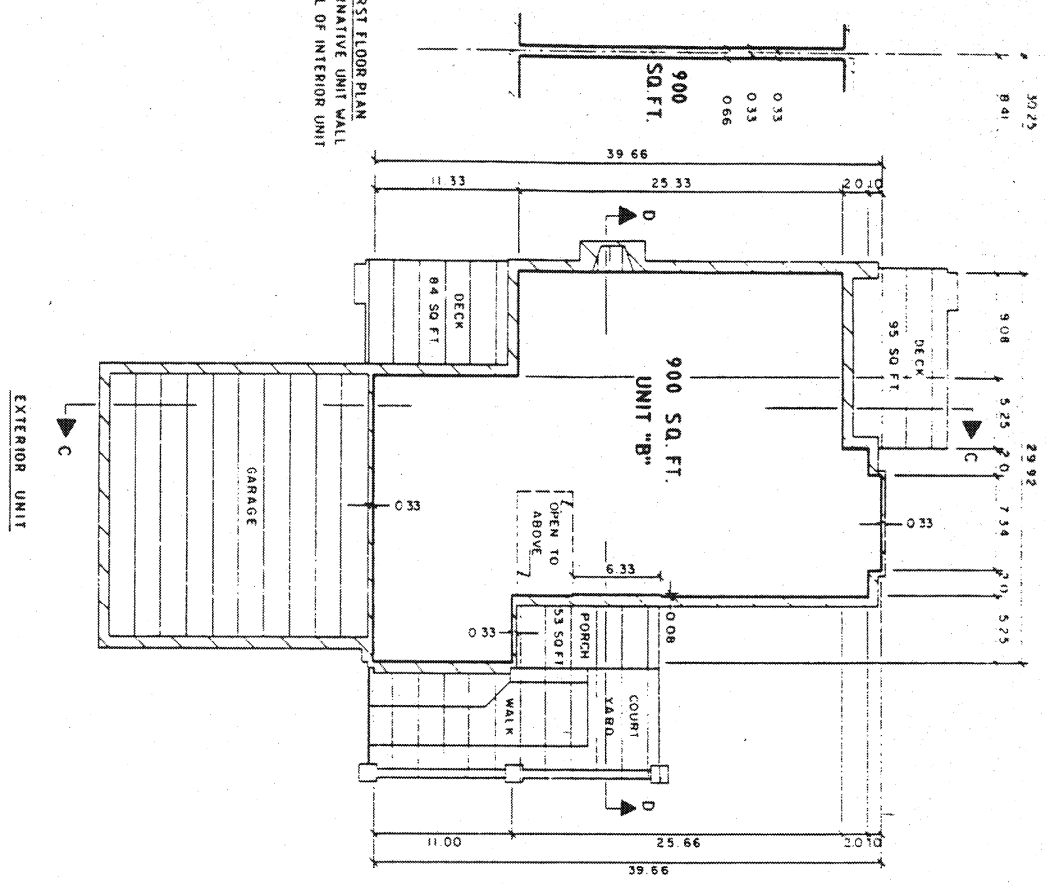
AUG 8, 1987

PROPOSED  
RIVER PINES OF FARMINGTON  
CONDOMINIUM  
TYPICAL BASEMENT PLAN  
FOR UNIT TYPE "B"

DESIGNED BY  
JAMES J. McLAUGHLIN  
CIVIL ENGINEER & LAND SURVEYOR  
10000  
10000

NO. OF REVISIONS	DATE	BY	REVISION
7			

FIRST FLOOR PLAN  
ALTERNATIVE UNIT WALL  
DETAIL OF INTERIOR UNIT



GENERAL COMMON ELEMENT  
LIMITED COMMON ELEMENT  
LIMITS OF OWNERSHIP

ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
ALL WALLS ARE 0.75 UNLESS OTHERWISE NOTED  
GARAGE ARE LIMITED COMMON ELEMENT  
SCALE: 1/4 INCH = 1.0 FOOT

APR. 8, 1987

PROPOSED

RIVER PINES OF FARMINGTON CONDOMINIUM

TYPICAL FIRST FLOOR PLAN FOR UNIT TYPE "B"

ROBERT WOELZMANN

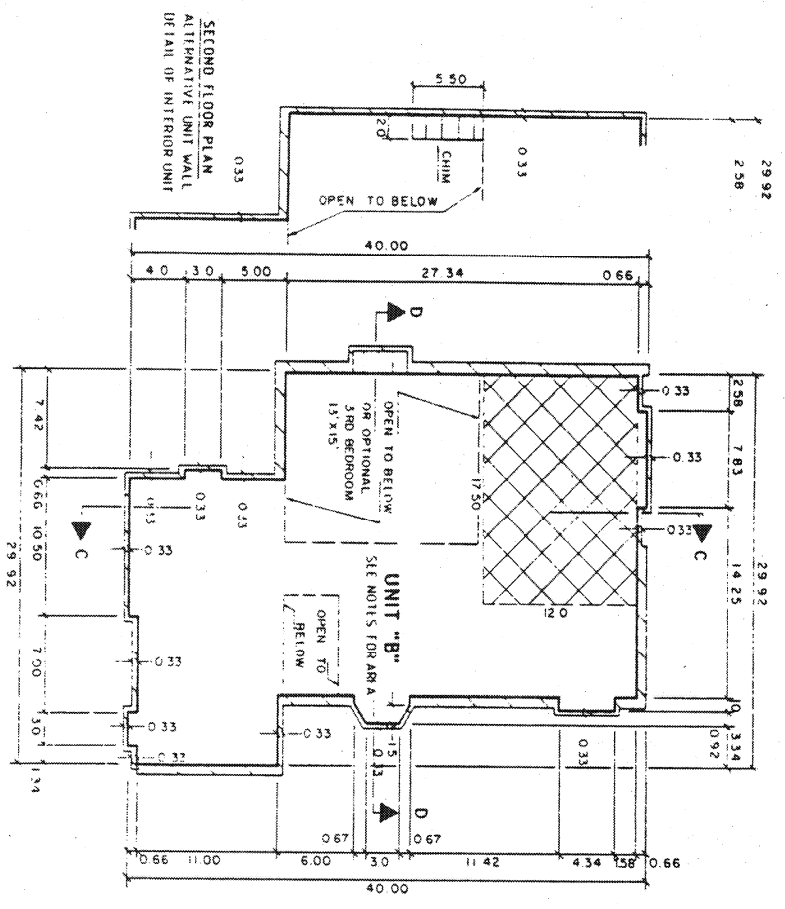
CIVIL ENGINEER & LAND SURVEYOR

STATE OF VERMONT

NO. 12345





DATE: APR. 8, 1987

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN  
ALTERNATIVE UNIT WALL  
DETAIL OF INTERIOR UNIT

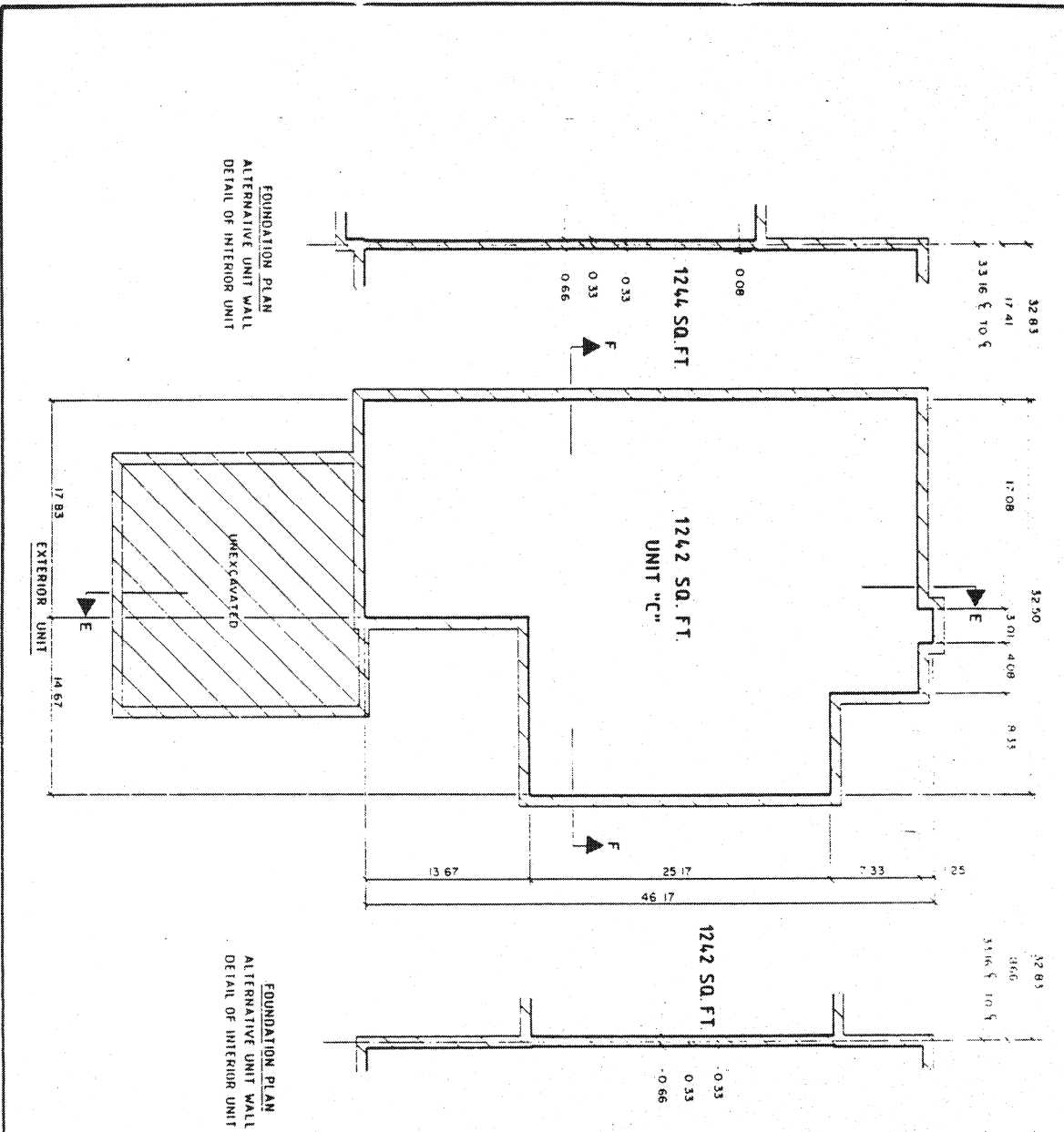
EXTERIOR UNIT

-  SLOPED CEILING
  -  GENERAL COMMON ELEMENT
  -  LIMITED COMMON ELEMENT
  -  LIMITS OF OWNERSHIP
- ALL OWNERSHIP LINES ARE 90° TO EACH OTHER, EXCEPT WHERE SHOWN  
ALL WALLS ARE 0.75 UNLESS OTHERWISE NOTED  
SCALE 1/4" INCH = 1.0 FOOT
- 0 5 10  
 0 5 10
- 94.9 SQ. FT. WITH 3RD BEDROOM — EXTERIOR UNIT  
 75.4 SQ. FT. WITHOUT 3RD BEDROOM — EXTERIOR UNIT  
 94.7 SQ. FT. WITH 3RD BEDROOM — INTERIOR UNIT  
 75.3 SQ. FT. WITHOUT 3RD BEDROOM — INTERIOR UNIT



AUG. 8, 1987  
 MEADOWS  
 RIVER PINES OF FARMINGTON  
 CONDOMINIUM  
 TYPICAL SECOND FLOOR PLAN  
 FOR UNIT TYPE "B"  
 ROBERT J. NOVAK  
 ARCHITECT  
 1000 W. MARKET STREET  
 SUITE 200  
 FALLS CHURCH, VA 22046  
 703/271-1111

PROPOSED  
 SHEET NO. 9



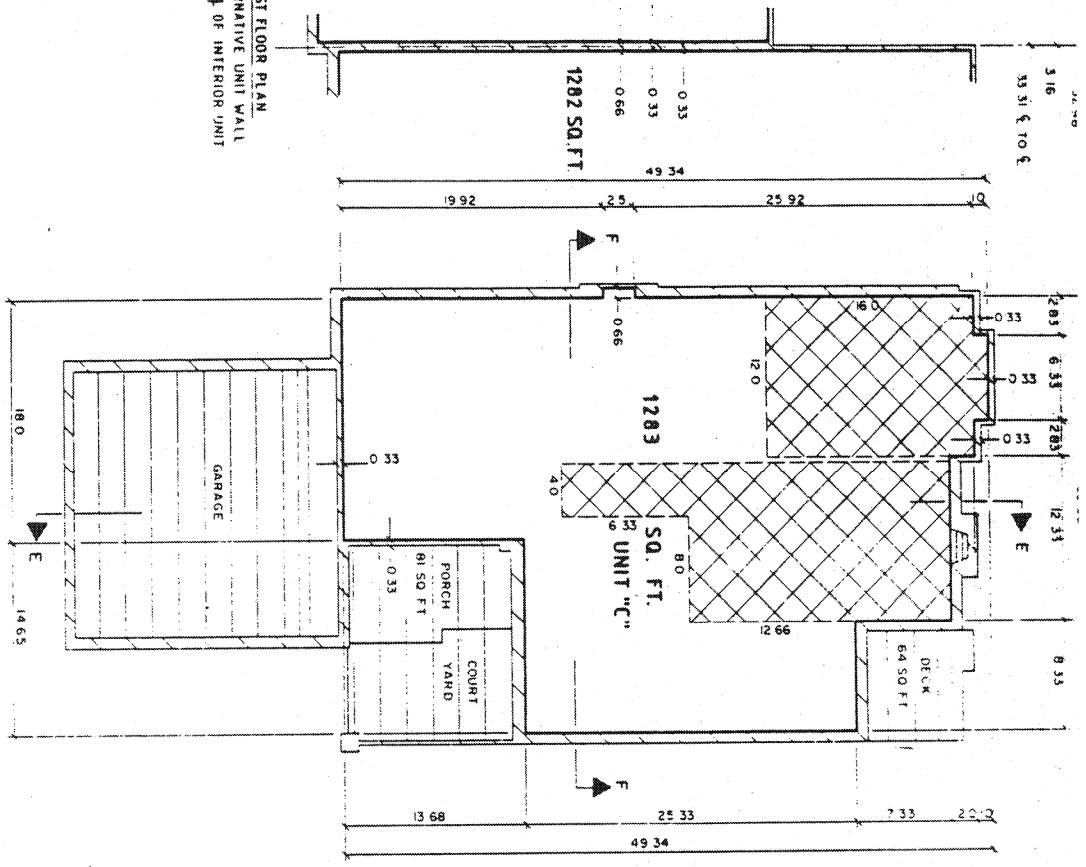
GENERAL COMMON ELEMENT  
 LIMITED COMMON ELEMENT  
 LIMITS OF OWNERSHIP  
 ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
 ALL WALLS ARE 0.83 UNLESS OTHERWISE NOTED  
 SCALE: 1/4" INCH = 1' 0" FOOT  
 0 5 10 15

AUG. 9, 1987  
 RIVER PINES OF FARMINGTON  
 TYPICAL BASEMENT PLAN  
 FOR UNIT TYPE "C"  
 HERBERT VOJNITZ  
 ARCHITECT  
 10

SHEET NO. 1  
 UNIT NO. 7.3

316  
33 31' 6" TO 6"

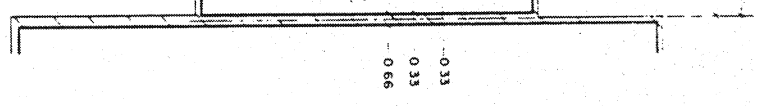
FIRST FLOOR PLAN  
ALTERNATIVE UNIT WALL  
DETAIL OF INTERIOR UNIT







EXTERIOR UNIT

866  
43 31' 6" TO 6"

FIRST FLOOR PLAN  
ALTERNATIVE UNIT WALL  
DETAIL OF INTERIOR UNIT



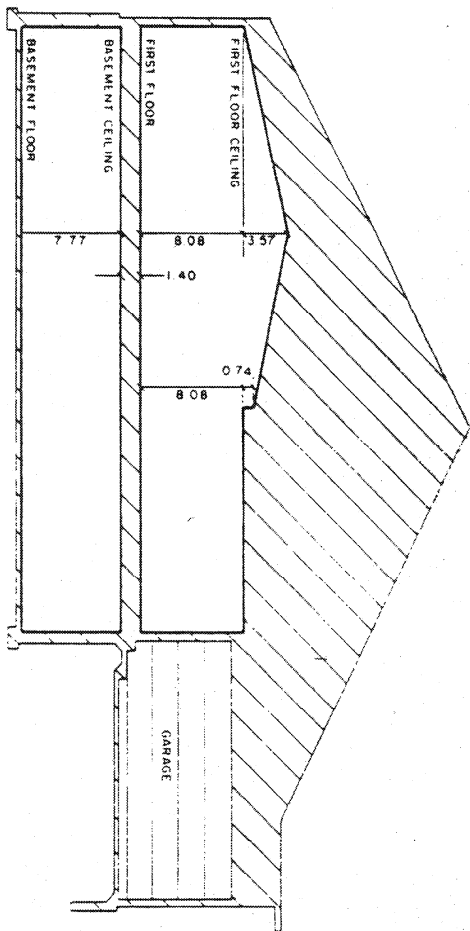
-  SLOPED CEILING
-  GENERAL COMMON ELEMENT
-  LIMITED COMMON ELEMENT
-  LIMITS OF OWNERSHIP

ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
ALL WALLS ARE 0.75 UNLESS OTHERWISE NOTED  
GARAGE ARE LIMITED COMMON ELEMENT  
SCALE: 1/4" INCH = 1.0 FOOT  
0 5 10 15

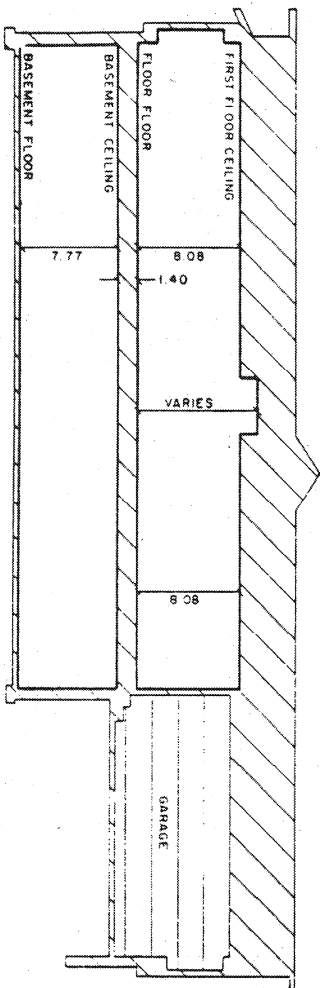


PROPOSED  
RIVER PINES OF FARRINGTON  
CONDOMINIUM  
TYPICAL FIRST FLOOR PLAN  
FOR UNIT TYPE "C"  
ROBERT W. QUINN  
ARCHITECT  
11

B (U) RD  
1  
UNIT NO  
7.3



SECTION E-E  
UNIT "C"



SECTION A-A  
UNIT "A"



GENERAL COMMON ELEMENT

LIMITED COMMON ELEMENT

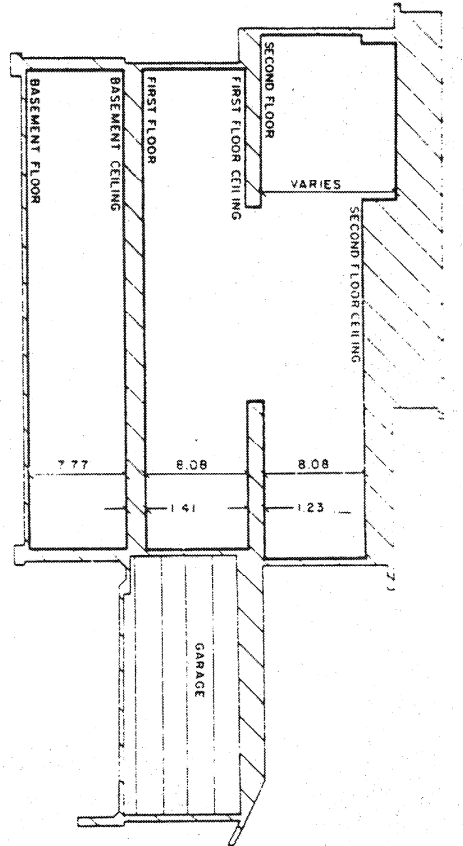
LIMITS OF OWNERSHIP  
ALL OWNERSHIP LINES ARE 90° TO EACH OTHER,  
EXCEPT AS SHOWN

SCALE: 1/4" INCH = 10 FEET

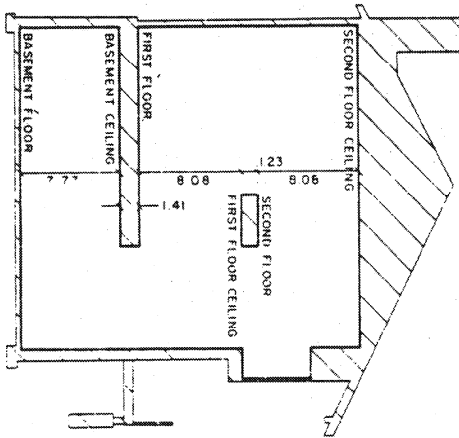
0 5 10 15

SEE SHEET NUMBER 15 FOR FIRST FLOOR ELEVATIONS  
OF UNITS 1, 2, 3

AUG. 9, 1987		PROPOSED	
REVISIONS	DATE	BY	
RIVER FINE'S OF FARMINGTON CONDOMINIUM			
TYPICAL CROSS SECTIONS FOR UNIT TYPES "A" AND "C"			
HEINLE BROS. ARCHITECTS			
1000 EAST 10TH AVENUE, SUITE 100, DENVER, CO 80202			
DATE	BY	DATE	BY
12			



SECTION C-C

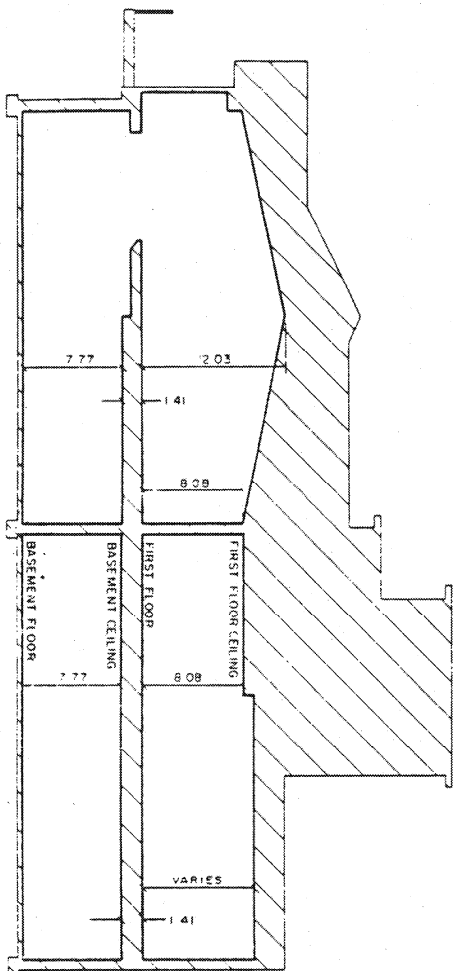


SECTION D-D

GENERAL COMMON ELEMENT  
 LIMITED COMMON ELEMENT  
 LIMITS OF OWNERSHIP  
 ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
 SCALE 1/4" INCH = 10 FEET  
 0 5 10 15  
 SEE SHEET NUMBER 15 FOR FIRST FLOOR ELEVATION OF UNIT 4



A15, B, 1987 HERBERT A. NORMAN PROPOSED	
PLANNING DRAWING	RIVER PINES OF FARMINGTON CONDOMINIUM TYPICAL GROSS SECTIONS FOR UNIT TYPE B HERBERT A. NORMAN CIVIL ENGINEER & LAND SURVEYOR LICENSE NO. 13
SHEET NO. 13	TOTAL SHEETS 13



SECTION B-B  
UNIT "A"

SECTION F-F  
UNIT "C"

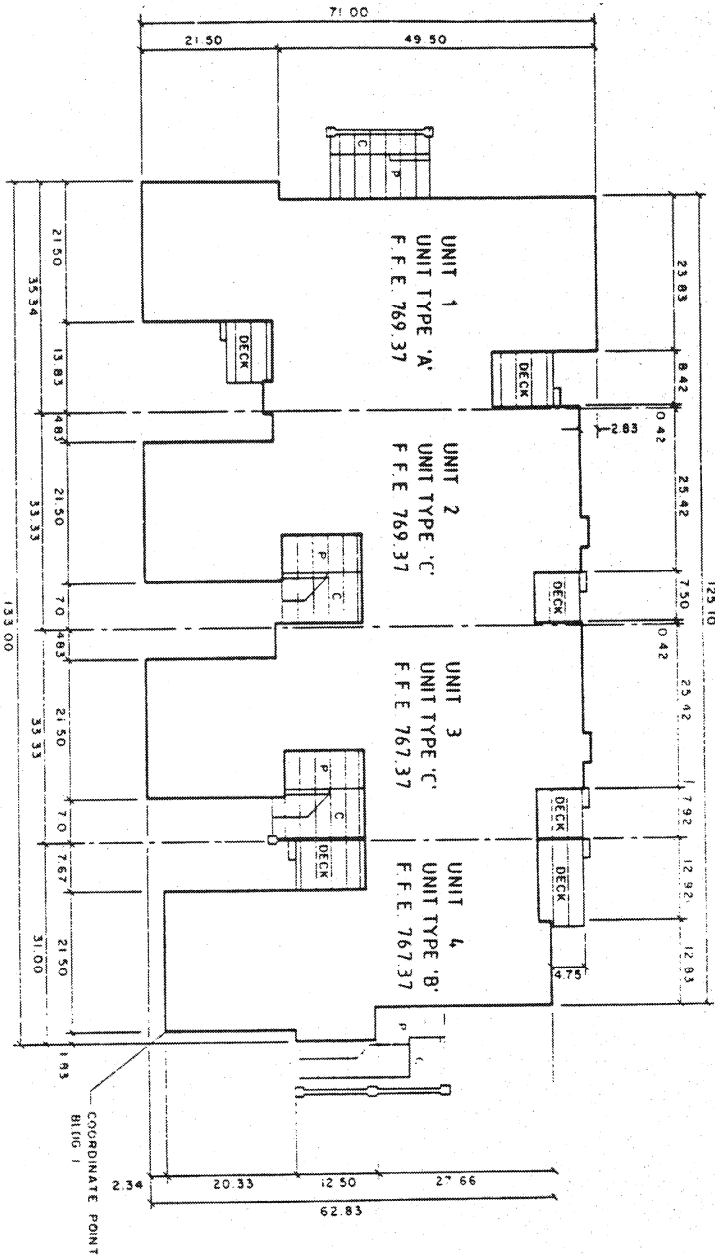


GENERAL COMMON ELEMENT  
LIMITED COMMON ELEMENT  
LIMITS OF OWNERSHIP

ALL OWNERSHIP LINES ARE 90° TO EACH OTHER EXCEPT AS SHOWN  
SCALE: 1/4 INCH = 1.0 FOOT  
0 5 10 15  
SEE SHEET NUMBER 15 FOR FIRST FLOOR ELEVATIONS OF UNITS 1, 2, 3

DATE: AUG 8, 1987	PROPOSED
REVISIONS:	
BY: [Signature]	
DATE:	
TYPICAL CROSS SECTIONS FOR UNIT TYPES A AND C	
RIVER PINES OF FARRINGTON CONDOMINIUM	
HERNIM BONDANAN	
CONSULTANT ARCHITECTURE & INTERIOR DESIGN	
116	

BUILDING BEARING



GENERAL COMMON ELEMENT  
 LIMITED COMMON ELEMENT  
 SEE FLOOR PLANS FOR DETAILED MEASUREMENTS.

C DENOTES COURTYARD  
 SCALE: 1/8 INCH = 1.0 FOOT

0 5 10 20 30

P DENOTES PORCH

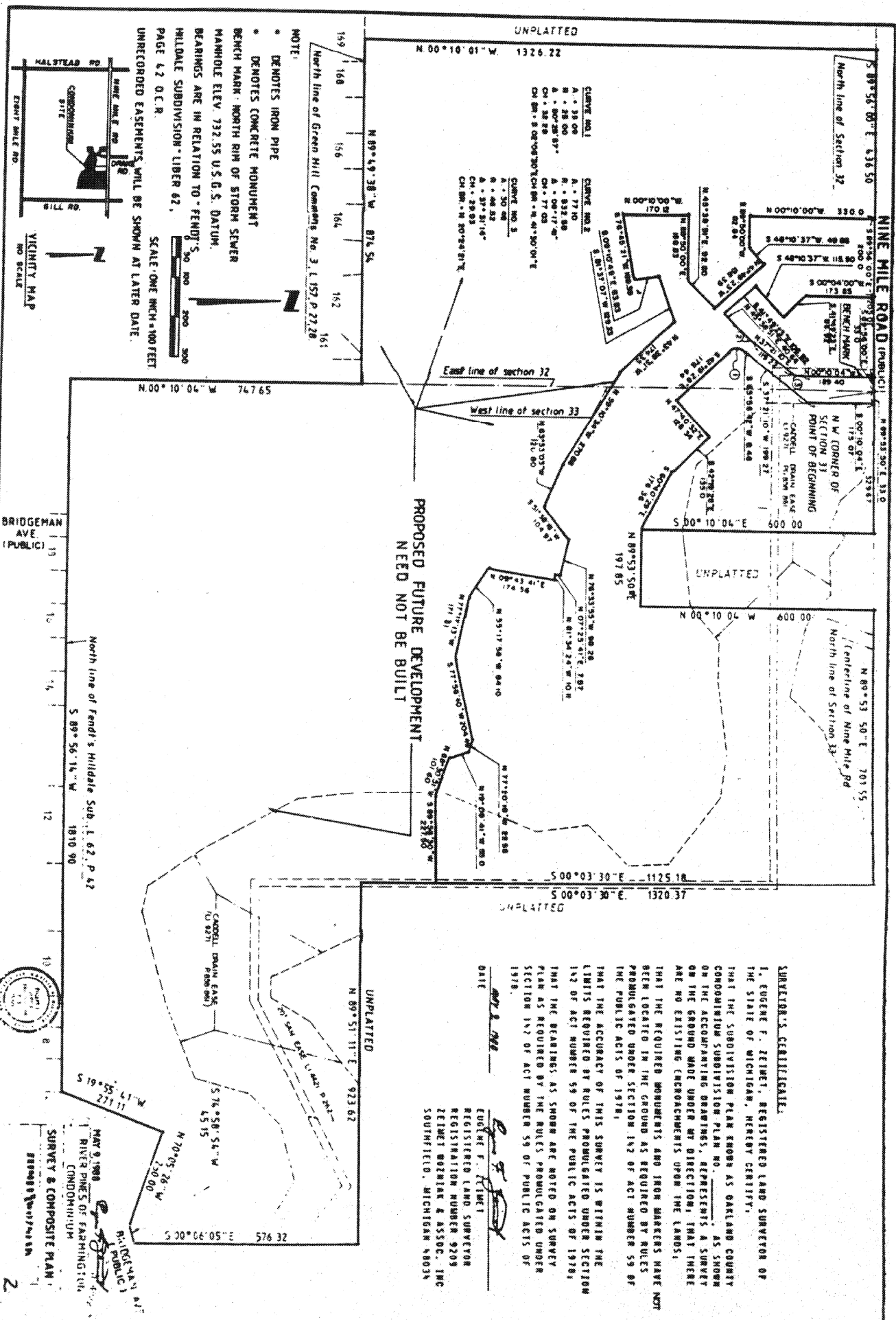
CENTRELINE



AUG. 8, 1987		PROPOSED
DATE	DATE	DATE
REVISIONS	BY	BY
RIVER PINES OF FARMINGTON CONDOMINIUM PERIMETER PLAN FOR BUILDING 1		15
ENGINEER		DATE
CIVIL ENGINEER IN THE STATE OF TENNESSEE		DATE







PROPOSED FUTURE DEVELOPMENT  
NEED NOT BE BUILT

UNPLATTED

UNPLATTED

UNPLATTED

UNPLATTED

**SURVEYOR'S CERTIFICATE.**

I, EUGENE F. ZEIMET, REGISTERED LAND SURVEYOR OF THE STATE OF MICHIGAN, HEREBY CERTIFY,  
 THAT THE SUBDIVISION PLAN KNOWN AS OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. \_\_\_\_\_ AS SHOWN ON THE ACCOMPANYING DRAWINGS, REPRESENTS A SURVEY OF THE GROUND MADE UNDER MY DIRECTION, THAT THERE ARE NO EXISTING ENCROACHMENTS UPON THE LANDS;  
 THAT THE REQUIRED MONUMENTS AND IRON MARKERS HAVE NOT BEEN LOCATED IN THE GROUND AS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978;  
 THAT THE ACCURACY OF THIS SURVEY IS WITHIN THE LIMITS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978;  
 THAT THE BEARINGS AS SHOWN ARE NOTED ON SURVEY PLAN AS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF PUBLIC ACTS OF 1978.

*Eugene F. Zimet*  
 DATE \_\_\_\_\_  
 EUGENE F. ZEIMET  
 REGISTERED LAND SURVEYOR  
 REGISTRATION NUMBER 9209  
 ZEIMET BOZIMAR & ASSOC., INC  
 SOUTHFIELD, MICHIGAN 48034

**NOTE:**

- DENOTES IRON PIPE
- DENOTES CONCRETE MONUMENT

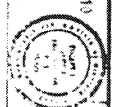
BENCH MARK: NORTH RIM OF STORM SEWER  
 MANHOLE ELEV. 732.55 U.S.G.S. DATUM.  
 BEARINGS ARE IN RELATION TO FENDT'S  
 HILDALE SUBDIVISION - LIBER 62.

SCALE: ONE INCH = 100 FEET

UNRECORDED EASEMENTS WILL BE SHOWN AT LATER DATE.

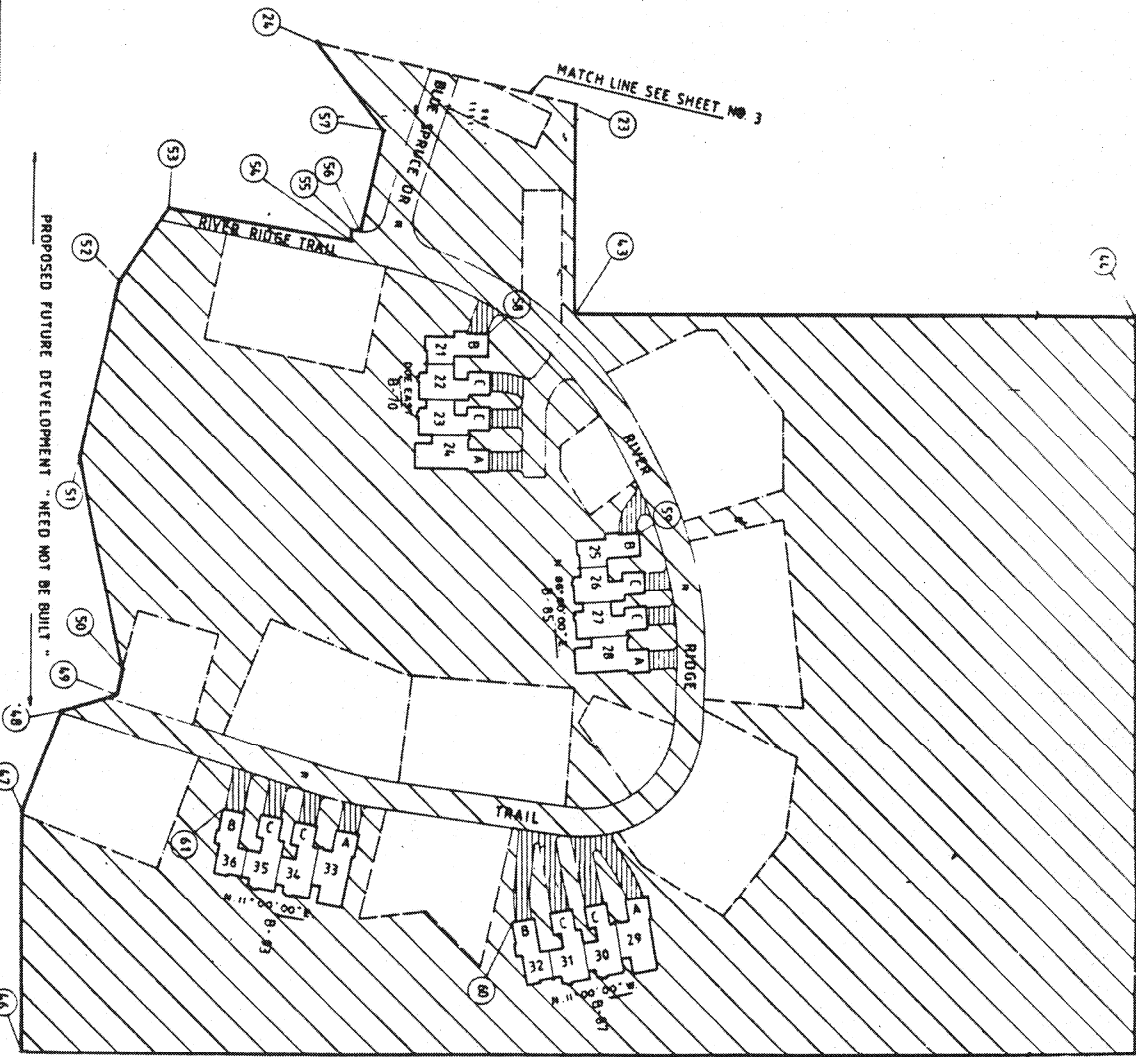
BRIDGEMAN  
 AVE  
 (PUBLIC)

MAY 9 1988  
 RIVER PINES OF FARMINGTON  
 CONDOMINIUM  
 SURVEY & COMPOSITE PLAN  
 2





NINE MILE ROAD (PUBLIC)



PT	NORTH	EAST
23	4400.65	5364.42
24	4152.55	5307.47
43	4401.01	5562.27
44	5001.01	5560.51
45	5002.26	6262.06
46	3871.00	6263.20
47	3876.85	6035.70
48	3914.07	5941.16
49	3966.02	5923.11
50	3970.96	5901.11
51	3928.25	5701.13
52	3965.95	5536.02
53	4013.83	5464.88
54	4185.88	5494.37
55	4187.36	5484.37
56	4194.87	5485.35
57	4217.70	5389.78
58	4316	5580
59	4462	5768
60	4363	6136
61	4465	6025

0 20 40 100 150  
 10 50 30  
 SCALE: ONE INCH = 50 FT.

NOTE:  
 23 DENOTES UNIT NUMBER  
 ----- DENOTES LIMITS OF CONVERTIBLE AREA.  
 ALL INTERIOR ROADS ARE PRIVATE.  
 SEE SHEET NO. 3 FOR ADDITIONAL NOTES AND LEGEND.



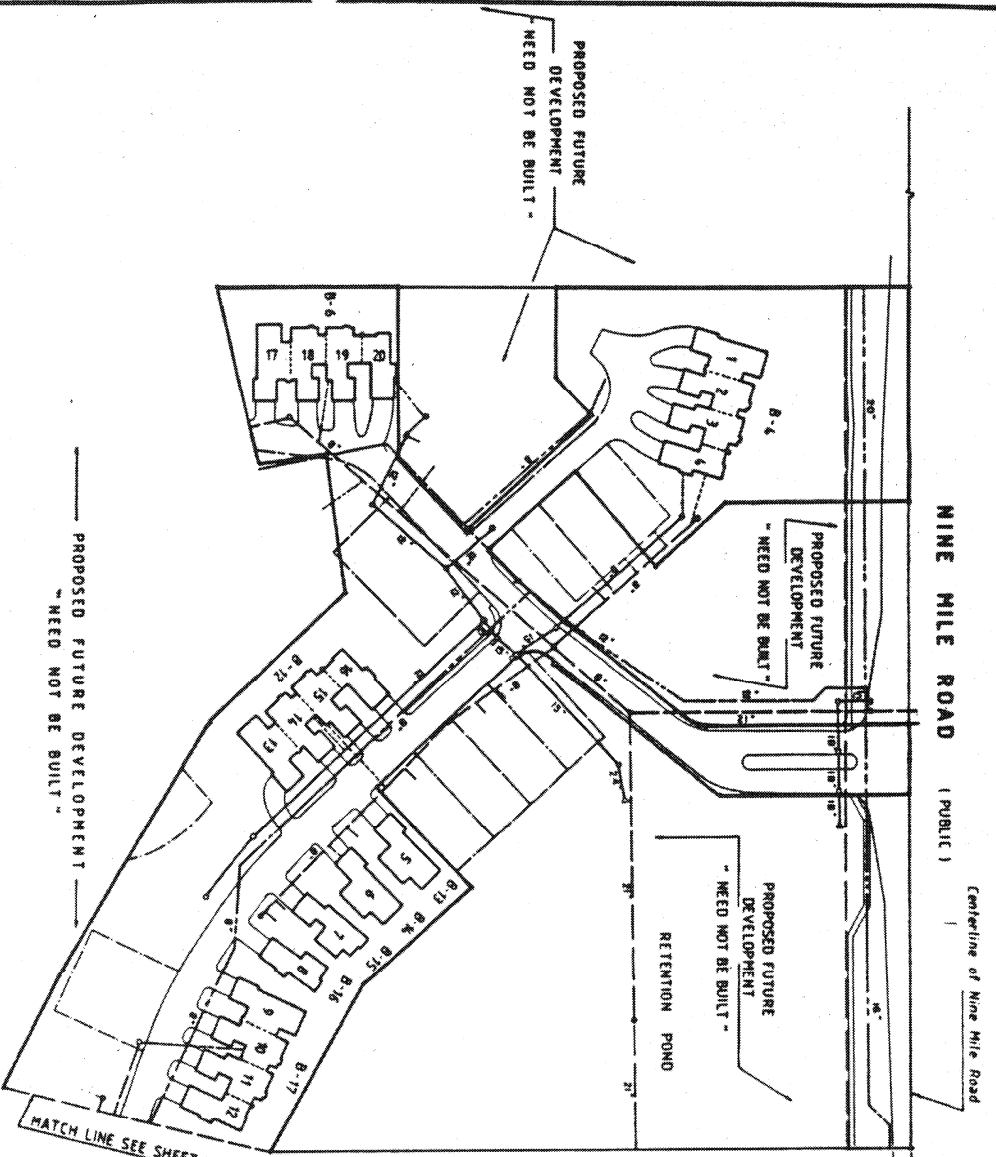
MAY 9, 1988

PROPOSED  
 RIVER PINES OF FARMINGTON  
 CONDOMINIUM

SITE PLAN

Robert W. Williams  
 PROFESSIONAL ENGINEER  
 STATE OF TENNESSEE  
 LICENSE NO. 1513  
 EXPIRES 12/31/88

3A



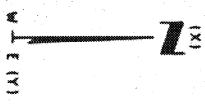
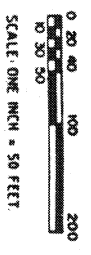
PROPOSED FUTURE DEVELOPMENT  
"NEED NOT BE BUILT"

MATCH LINE SEE SHEET NO 3 C

NINE MILE ROAD (PUBLIC)

Centerline of Nine Mile Road

RETENTION POND



LEGEND

---	WATER	ZEMET WOZNIAK & ASSOC., INC.
---	SANITARY SEWER	ZEMET WOZNIAK & ASSOC., INC.
---	STORM SEWER	ZEMET WOZNIAK & ASSOC., INC.
---	GAS	CONSUMERS POWER CO.
---	POWER	DETROIT EDISON CO.
---	TELEPHONE	MICHIGAN BELL TELEPHONE CO.
---	SERVICE LEAD	

UTILITY SOURCE OF LOCATION

B-2 DENOTES BUILDING NUMBER

12" DENOTES SIZE OF UTILITY

UTILITY METERS WILL BE SHOWN ON AS BUILT DRAWINGS.

NOTE

3 DENOTES UNIT NUMBER

--- DENOTES CONVERTIBLE AREA LIMITS.

• DENOTES IRON PIPE

• DENOTES CONCRETE MONUMENT

• ALL SANITARY SEWER LEADS ARE 6"

GAS, POWER, AND PHONE LINES WILL BE SHOWN ON AS BUILT DRAWINGS.



MAY 9, 1988

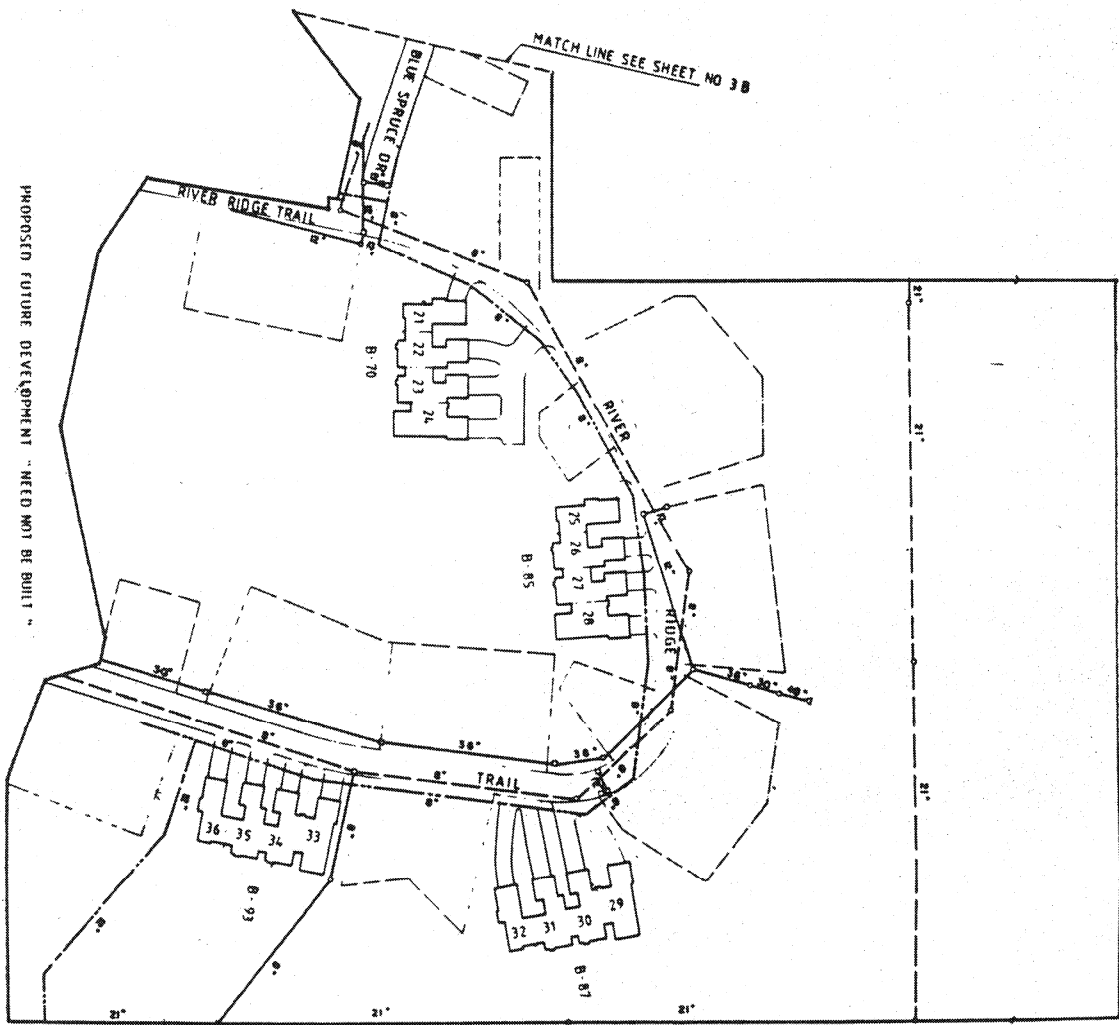
RIVER PINES OF FARMINGTON  
CONDOMINIUM

UTILITY PLAN

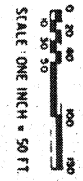
ZEMET WOZNIAK & ASSOC., INC.  
10000

3 B

NINE MILE ROAD (PUBLIC)



PROPOSED FUTURE DEVELOPMENT - NEED NOT BE BUILT



NOTE

23 DEMOTES UNIT NUMBER

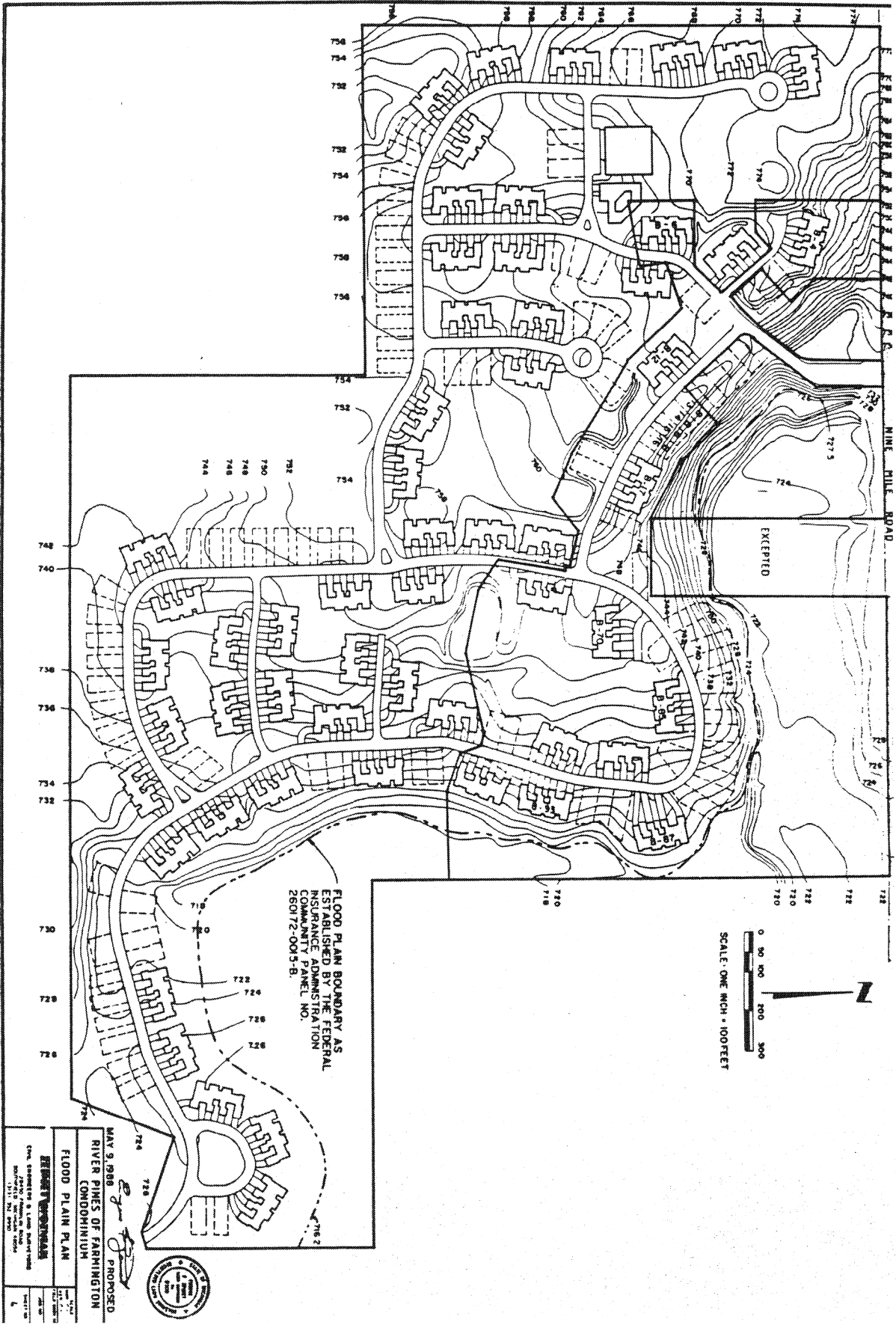
--- DEMOTES LIMITS OF CONVERTIBLE AREA.

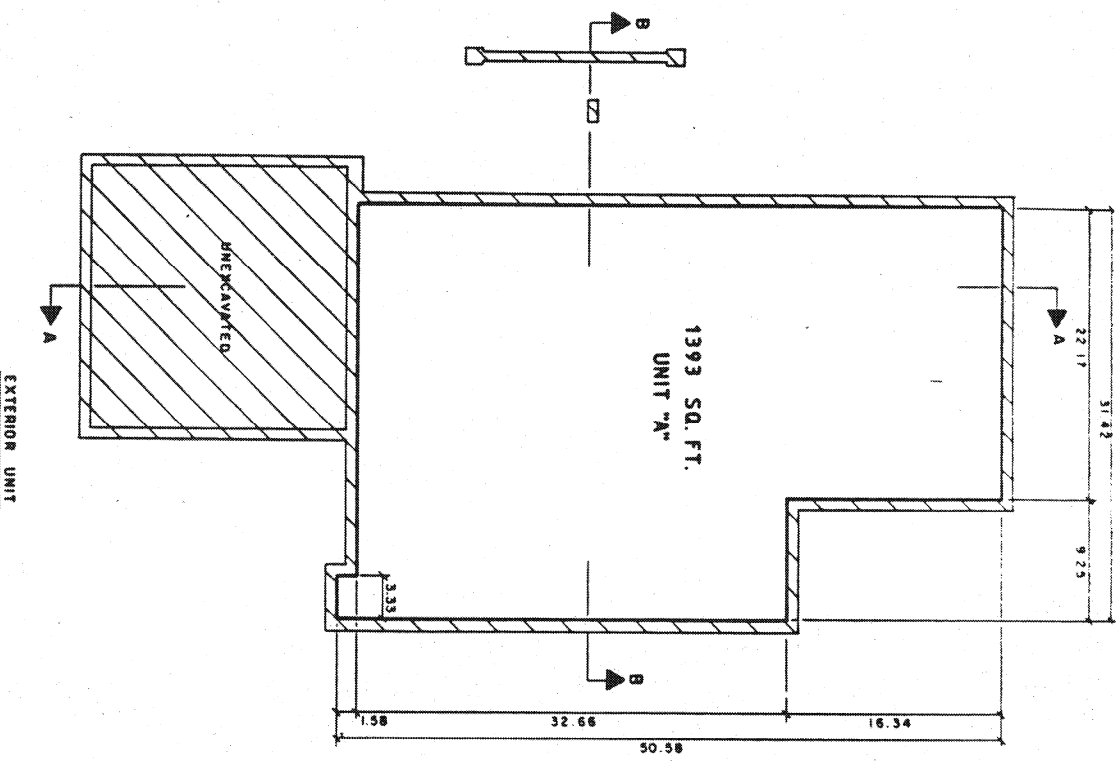
ALL INTERIOR ROADS ARE PRIVATE.

SEE SHEET NO 3 B FOR ADDITIONAL NOTES AND LEGEND

<p>REVISED</p> <p>DATE</p> <p>BY</p>		<p>PROPOSED</p> <p>RIVER PINES OF FARMINGTON</p> <p>CONDOMINIUM</p> <p>UTILITY PLAN</p>
<p>DATE</p> <p>BY</p>		
<p>DATE</p> <p>BY</p>		<p>3 C</p>
<p>DATE</p> <p>BY</p>		







FOUNDATION PLAN  
ALTERNATIVE UNIT WALL  
DETAIL OF INTERIOR UNIT

UNIT SCHEDULE	
BLOG NO	UNIT NO
4	1
3	5
16	6
17	9
12	13
6	17
70	26
85	28
87	29
93	31

- GENERAL COMMON ELEMENT
  - LIMITED COMMON ELEMENT
  - LIMITS OF OWNERSHIP
- ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
ALL WALLS ARE 0.83 UNLESS OTHERWISE NOTED  
SCALE - 1/4 INCH = 1.0 FOOT



MAY 9, 1988

PROPOSED  
RIVER PARKS OF FARMINGTON  
CONDOMINIUM  
TYPICAL BASEMENT PLAN  
FOR UNIT TYPE "A"

DESIGNED BY  
ROBERT W. WINTERS  
CONSULTING & LUMBER ENGINEERING  
12111 1/2 ST. #200  
VALENTIA, VIRGINIA 22180

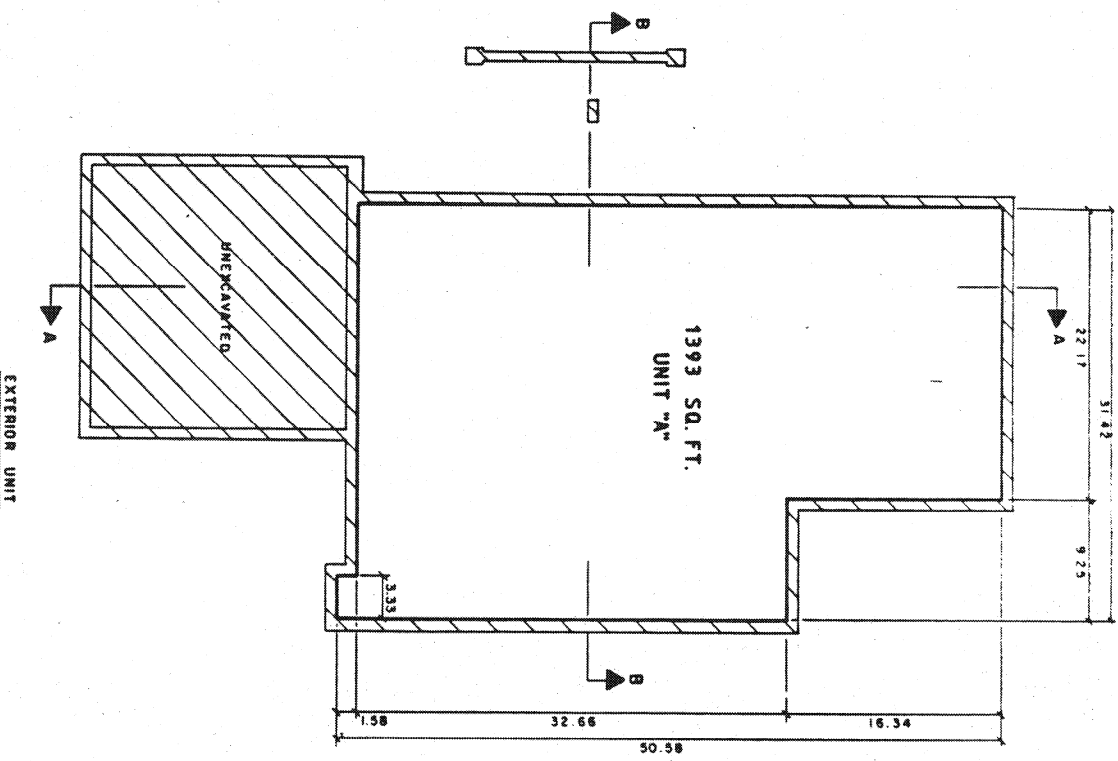
REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: 5/9/88

SCALE: AS SHOWN

PROJECT NO. 12111



FOUNDATION PLAN  
ALTERNATIVE UNIT WALL  
DETAIL OF INTERIOR UNIT

UNIT SCHEDULE	
BLOG NO	UNIT NO
4	1
3	5
16	6
17	9
12	13
6	17
70	26
85	28
87	29
93	32

- GENERAL COMMON ELEMENT
  - LIMITED COMMON ELEMENT
  - LIMITS OF OWNERSHIP
- ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
ALL WALLS ARE 0.83 UNLESS OTHERWISE NOTED  
SCALE - 1/4" INCH = 1.0 FOOT



MAY 9, 1988

PROPOSED  
RIVER PARKS OF FARMINGTON  
CONDOMINIUM  
TYPICAL BASEMENT PLAN  
FOR UNIT TYPE "A"

DESIGNED BY  
ROBERT W. WINTERS  
CONSULTING & LIAISON ENGINEERING  
12111 1/2 ST. #200  
VALENTIA, VIRGINIA 22180

REVISIONS

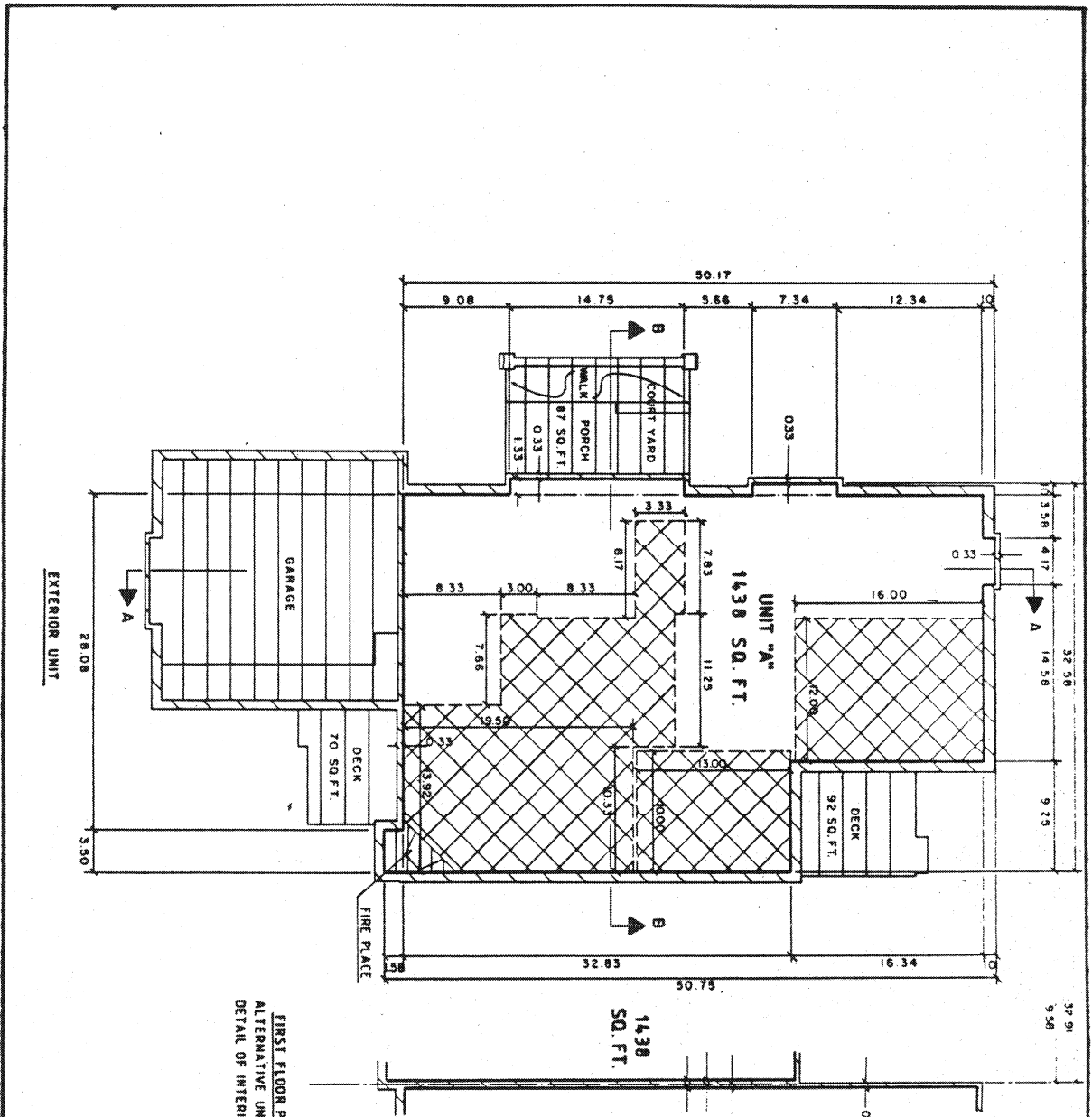
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: 5/9/88

SCALE: AS SHOWN

PROJECT NO. 88-001

5



FIRST FLOOR PLAN  
 ALTERNATIVE UNIT WALL  
 DETAIL OF INTERIOR UNIT

- SLOPED CEILING
  - GENERAL COMMON ELEMENT
  - LIMITED COMMON ELEMENT
  - LIMITS OF OWNERSHIP
- ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
 ALL WALLS ARE 0.75 UNLESS OTHERWISE NOTED.  
 SCALE: 1/4" INCH = 1.0 FOOT

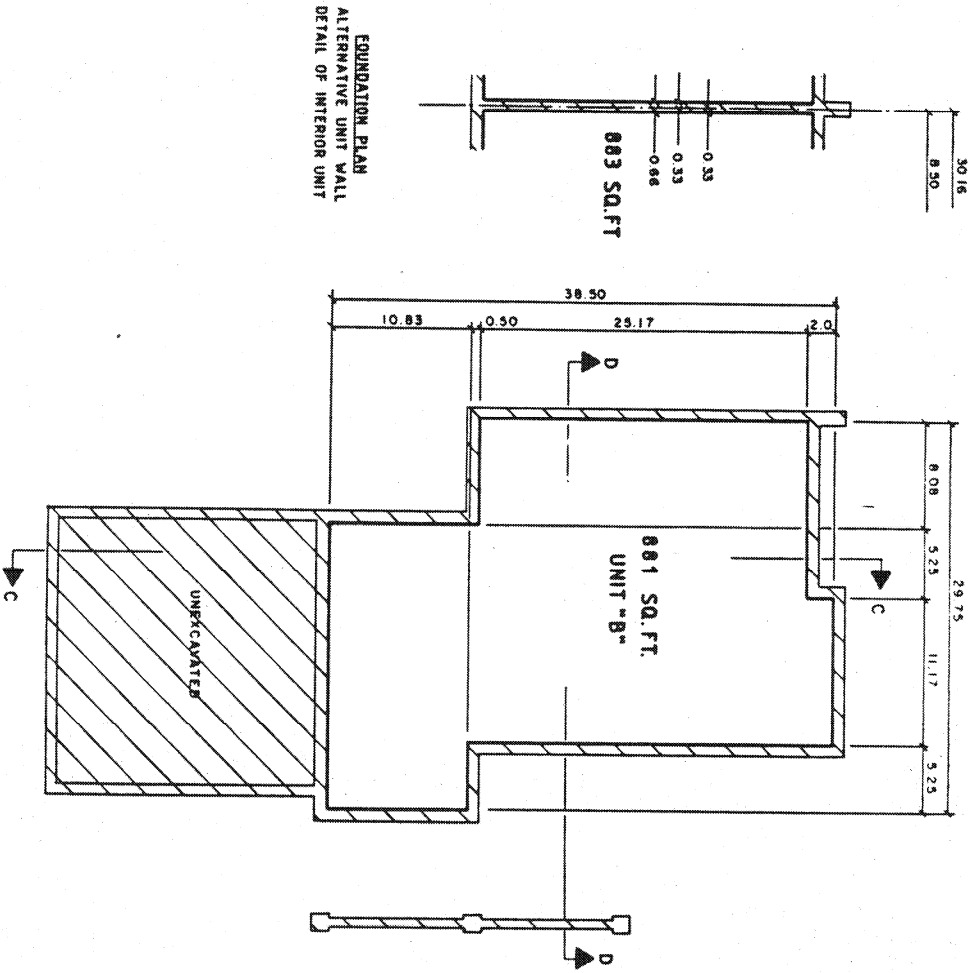
BLDG NO	UNIT NO
4	1
13	5
14	6
17	9
12	13
6	17
70	24
85	28
87	32, 31
93	36, 35

PROPOSED  
 RIVER PINES OF FARMINGTON  
 CONDOMINIUM  
 TYPICAL FIRST FLOOR PLAN  
 FOR UNIT TYPE "A"

DATE: 11/11/88  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT NO: 6



UNIT SCHEDULE	
BLDG NO	UNIT NO
5	4
16	8
17	12
17	16
8	20
70	21
85	25
87	32
93	36



FOUNDATION PLAN  
ALTERNATIVE UNIT WALL  
DETAIL OF INTERIOR UNIT

EXTERIOR UNIT

GENERAL COMMON ELEMENT  
LIMITED COMMON ELEMENT  
LIMITS OF OWNERSHIP

ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
ALL WALLS ARE 081 UNLESS OTHERWISE NOTED  
SCALE - 1/4" INCH = 1.0 FOOT

0 5 10 15



MAY 9, 1988

REVISIONS

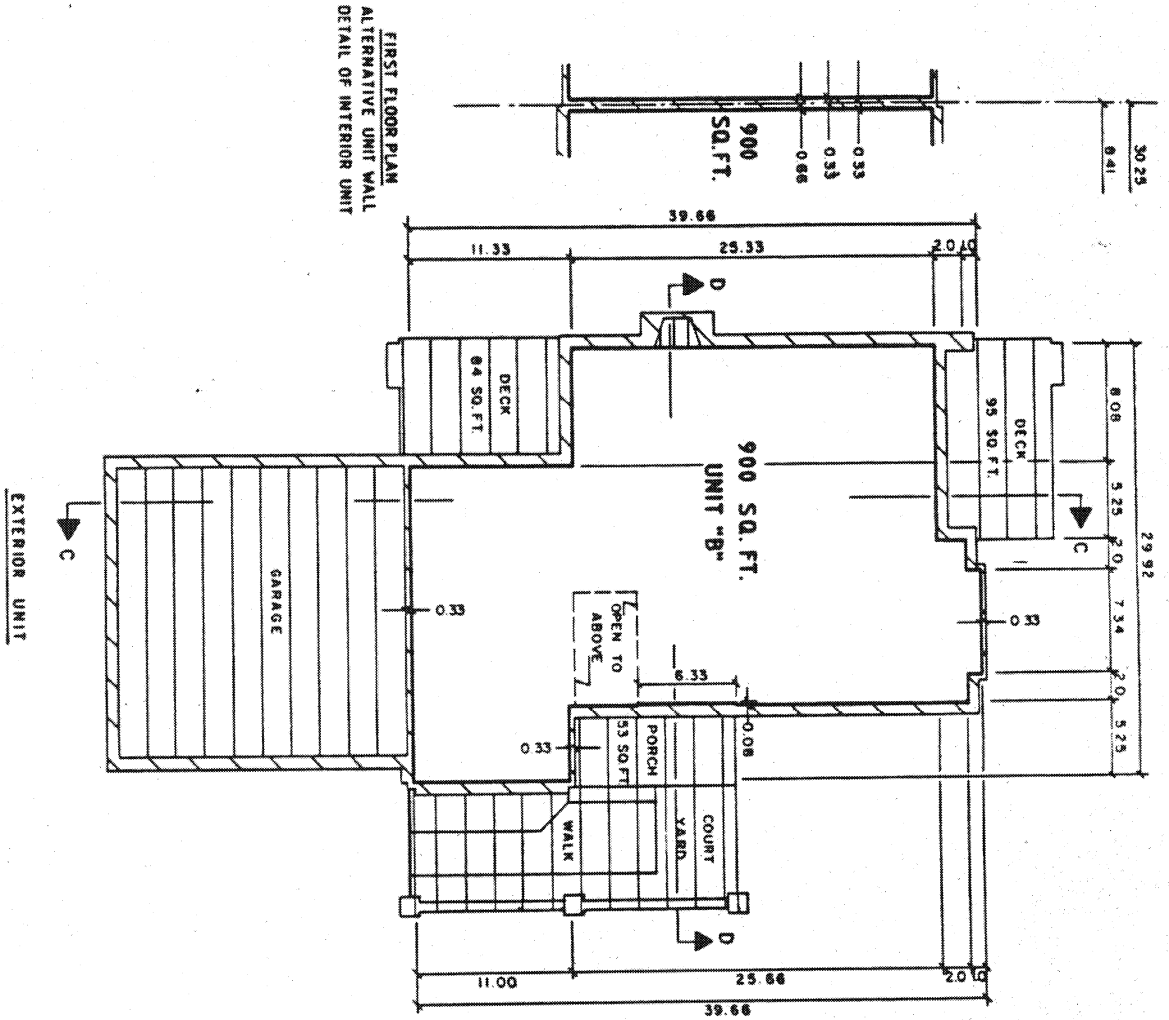
DATE BY

TYPICAL BASEMENT PLAN  
FOR UNIT TYPE "B"

ROBERT W. PETERSON  
Architect  
1000 N.W. 10th St., Suite 100  
Fort Lauderdale, FL 33304

PROPOSED  
RIVER PINES OF FARMINGTON  
CONDOMINIUM

7



FIRST FLOOR PLAN  
ALTERNATIVE UNIT WALL  
DETAIL OF INTERIOR UNIT

UNIT SCHEDULE	
BLOG NO.	UNIT NO
4	4
16	8
17	12
12	16
6	20
70	21
85	25
97	32
93	36

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF OWNERSHIP

ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
ALL WALLS ARE 0.75 UNLESS OTHERWISE NOTED  
GARAGE ARE LIMITED COMMON ELEMENT  
SCALE - 1/4 INCH = 10 FOOT  
0 5 10 15



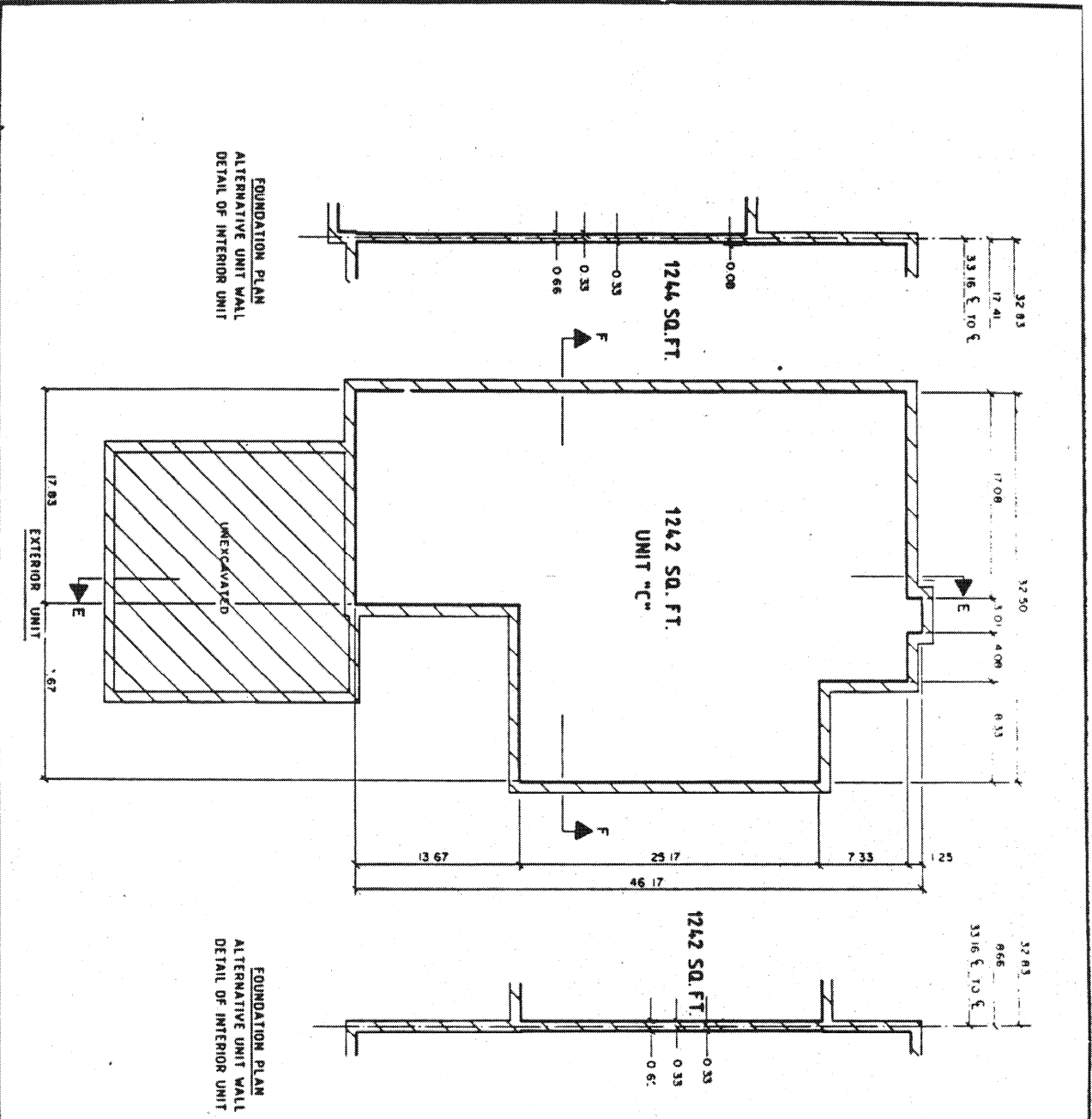
MAY 9, 1998

PROPOSED  
RIVER PINES OF FARMINGTON  
CONDOMINIUM  
TYPICAL FIRST FLOOR PLAN  
FOR UNIT TYPE "B"

REBERT W. WINTERS  
Civil, Architectural & Land Surveying  
10000 W. BRIDGEWAY  
FARMINGTON, VA 22430

NO.	DATE	REVISIONS
1	05/09/98	ISSUE FOR PERMIT



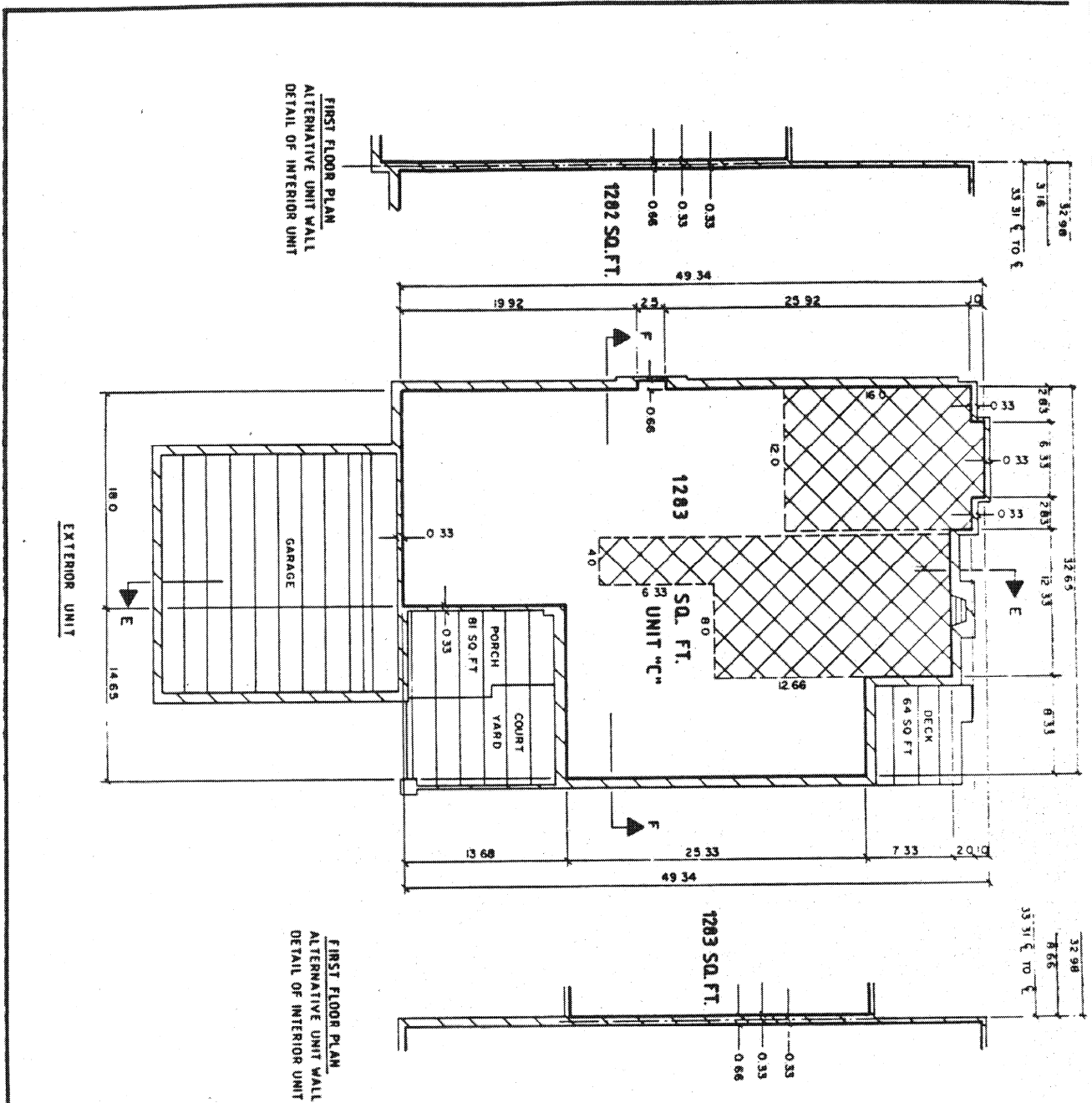


UNIT SCHEDULE	
BLDG NO	UNIT NO
4	2,3
15	7
17	10,11
12	14,15
6	18,19
70	22,23
85	28,27
87	30,31
93	34,35

GENERAL COMMON ELEMENT  
 LIMITED COMMON ELEMENT  
 LIMITS OF OWNERSHIP  
 ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
 ALL WALLS ARE 0.83 UNLESS OTHERWISE NOTED  
 SCALE: 1/4 INCH = 1.0 FOOT  
 0 5 10 15

MAY 9, 1988  
 REVISIONS  
 UNIT 7  
 RIVER PINES OF FARMINGTON  
 CONDOMINIUM  
 TYPICAL BASEMENT PLAN  
 FOR UNIT TYPE "C"  
 BESSIE B. WOODRUM  
 ARCHITECT  
 1015 N. 10TH ST.  
 DENVER, CO. 80202

PROPOSED  
 10



UNIT SCHEDULE	BLDG NO.	UNIT NO.
	6	2, 3
	15	7
	17	10, 11
	12	14, 15
	4	18, 19
	70	22, 23
	85	24, 27
	87	30, 31
	93	34, 35

- SLOPED CEILING
  - GENERAL COMMON ELEMENT
  - LIMITED COMMON ELEMENT
  - LIMITS OF OWNERSHIP
- ALL OWNERSHIP LINES ARE 90° TO EACH OTHER  
 ALL WALLS ARE 0.75 UNLESS OTHERWISE NOTED  
 GARAGE ARE LIMITED COMMON ELEMENT  
 SCALE - 1/4 INCH = 1.0 FOOT  
 0 5 10

MAY 2, 1988

PROPOS

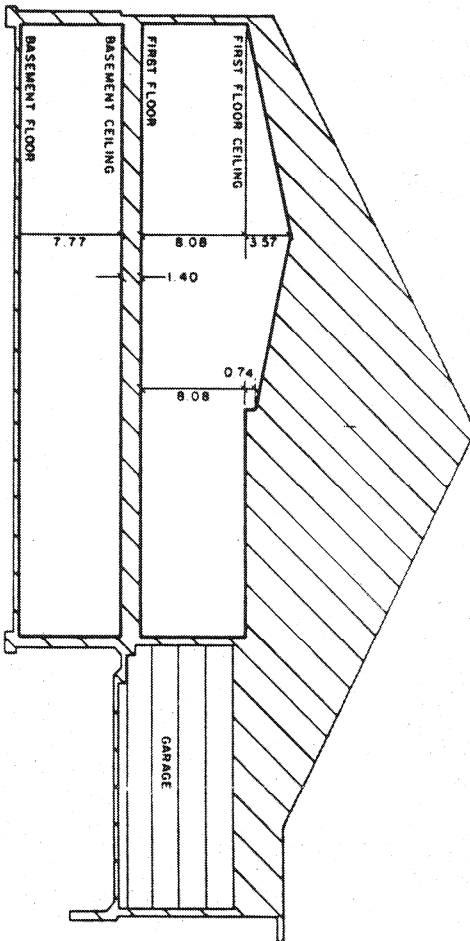
RIVER PINES OF FARMINGTON  
 CONDOMINIUM

TYPICAL FIRST FLOOR PLAN  
 FOR UNIT TYPE "C"

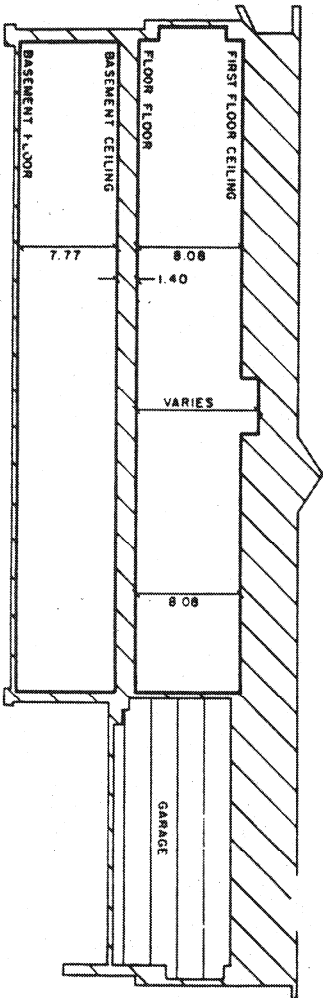
RENEE E. WILSON  
 ARCHITECT

CIVIL ENGINEER & LAND SURVEYOR  
 LICENSE NO. 10000

STATE OF MISSISSIPPI



SECTION E-E  
UNIT "C"



SECTION A-A  
UNIT "A"

GENERAL COMMON ELEMENT  
 LIMITED COMMON ELEMENT  
 LIMITS OF OWNERSHIP  
 ALL OWNERSHIP LINES ARE 90° TO EACH OTHER, EXCEPT AS SHOWN.  
 SCALE: 1/4" INCH = 10 FEET  
 0 5 10 15  
 SEE SHEET NUMBER 14 FOR FIRST FLOOR ELEVATIONS.



MAY 9, 1988

PROPOSED  
RIVER PINES OF FARMINGTON  
CONDOMINIUM

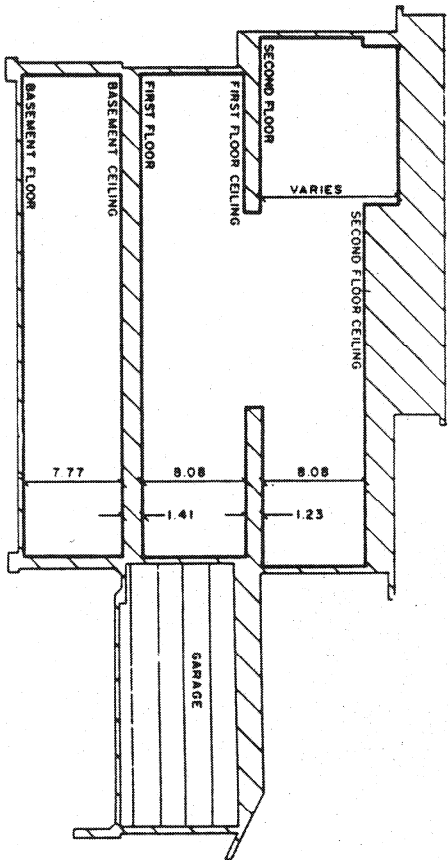
TYPICAL CROSS SECTIONS  
FOR UNIT TYPES "A" AND "C"

REVISIONS

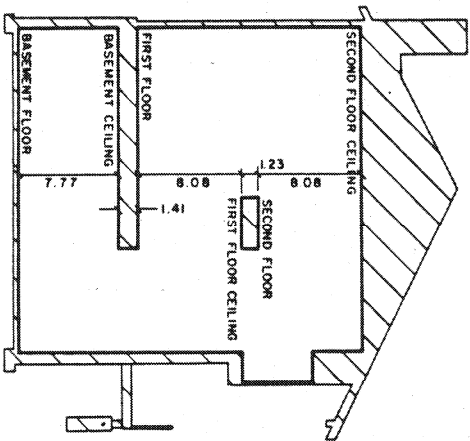
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

12



UNIT NO	FIRST FLOOR ELEVATION
4	767.37
8	759.17
12	757.57
16	755.97
20	767.47
21	749.27
25	739.27
32	732.87
36	735.90



SECTION C-C



SECTION D-D

-  GENERAL COMMON ELEMENT
-  LIMITED COMMON ELEMENT

LIMITS OF OWNERSHIP

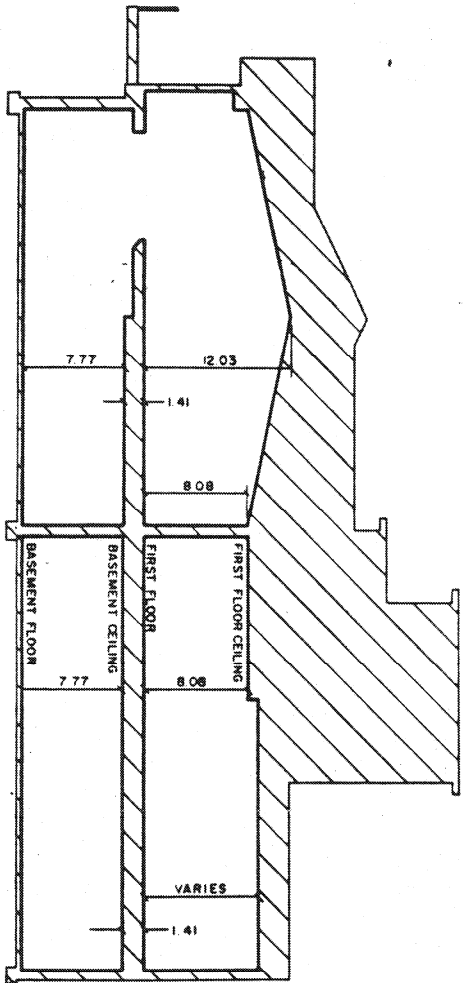
ALL OWNERSHIP LINES ARE 90° TO EACH OTHER

SCALE: 1/4" INCH = 1.0 FOOT

0 5 10 15



MAY 9, 1988		PROPOSED	
REVISIONS	DATE BY	RIVERB PINES OF FARMINGTON CONDOMINIUM	
		TYPICAL CROSS SECTIONS FOR UNIT TYPE "B"	
		PREPARED BY: [Signature]	
		CONS. ENGINEER & LAND SURVEYOR	
		13	



SECTION B-B  
UNIT "A"

SECTION F-F  
UNIT "C"

UNIT NO.	FIRST FLOOR ELEVATION
1, 2	7.69 37
3	7.67 37
5	7.57 07
6	7.57 67
7	7.58 67
9	7.59 37
10	7.59 57
11	7.57 57
13	7.57 97
14, 15	7.55 97
17	7.68 27
18, 19	7.67 47
22, 23	7.69 27
24	7.69 17
26	7.39 27
27	7.31 27
28	7.37 07
29	7.33 67
30	7.33 87
31	7.32 87
33	7.35 77
34, 35	7.35 90

GENERAL COMMON ELEMENT  
 LIMITED COMMON ELEMENT  
 LIMITS OF OWNERSHIP  
 ALL OWNERSHIP LINES ARE 90° TO EACH OTHER EXCEPT AS SHOWN.  
 SCALE: 1/4 INCH = 1.0 FOOT  
 0 5 10 15



MAY 9, 1988

REVISIONS

PROJECT: RIVER PINES OF FARRINGTON CONDOMINIUM

TYPICAL CROSS SECTIONS FOR UNITS TYPES "A" AND "C"

DESIGNED BY: [Signature]

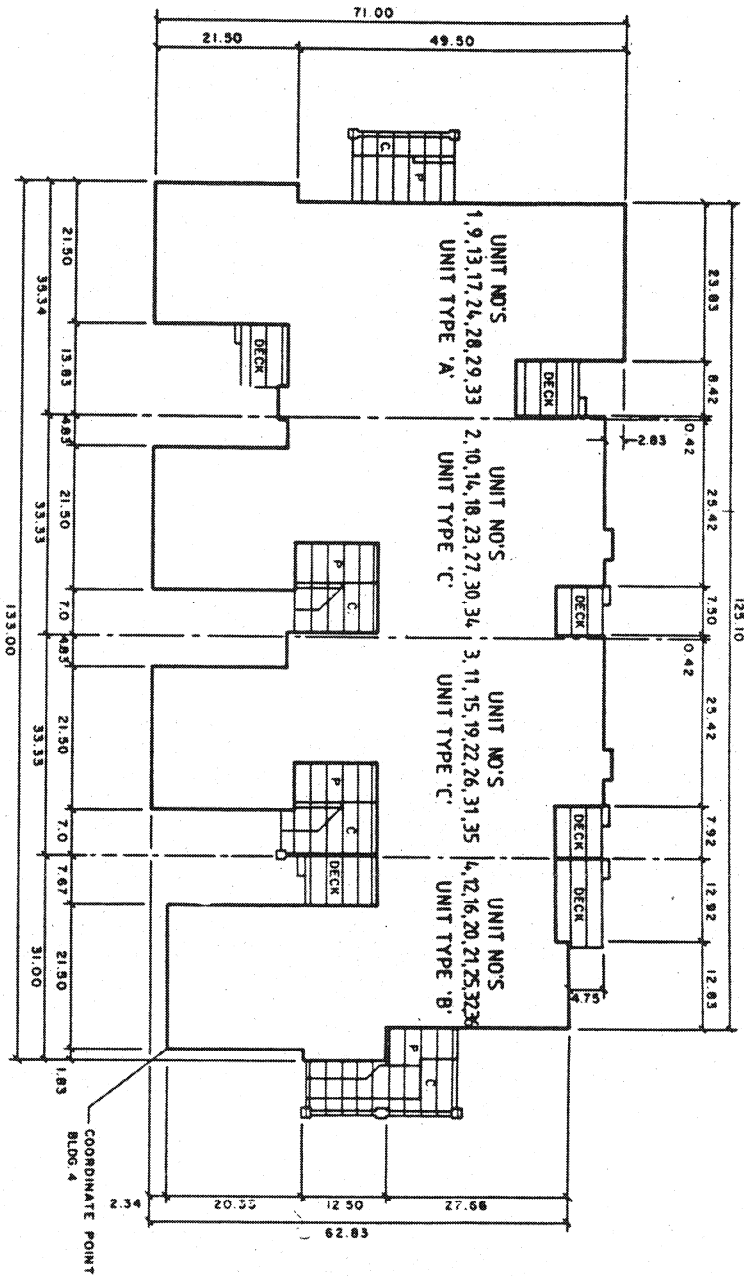
CHECKED BY: [Signature]

DATE: 5/11/88

SCALE: 1/4" = 1'-0"

16

BUILDING BEARING



- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- SEE FLOOR PLANS FOR DETAILED MEASUREMENTS.
- C DENOTES COURTYARD
- SCALE: 1/8 INCH = 1.0 FOOT
- 0 5 10 20 30
- P DENOTES PORCH

----- CENTERLINE  
SEE SHEETS NO'S 13, 14, FOR FIRST FLOOR ELEVATIONS.



MAY 9, 1988

PROPOSED  
RIVER CHIMES OF FARMINGTON  
CONDOMINIUM  
PERIMETER PLAN FOR  
BUDS 4, 5, 12, 17, 20, 25, 32, 36

NO.	DATE	BY	REVISIONS
1			
2			
3			
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15

## TWENTY-THIRD AMENDMENT TO MASTER DEED

### RIVER PINES OF FARMINGTON CONDOMINIUM

ITALO-AMERICAN CONDOMINIUM CORPORATION, a Michigan corporation, whose address is 21971 Farmington Road, Farmington Hills, Michigan 48336, being the developer of River Pines of Farmington Condominium, a condominium project established pursuant to the Master Deed thereof, dated August 31, 1987 as recorded on September 4, 1987 in Liber 10096, Pages 644 through 707, Oakland County Records, as amended by the First Amendment to Master Deed, dated April 28, 1988, as recorded on April 29, 1988 in Liber 10392, Pages 130 to 131, Oakland County Records, as amended by the Second Amendment to Master Deed dated July 25, 1988, as recorded on July 26, 1988 in Liber 10513, Pages 892 through 915, Oakland County Records, as amended by the Third Amendment to Master Deed dated February 14, 1989, as recorded on February 17, 1989, in Liber 10795, Pages 754 through 774, Oakland County Records, as amended by the Fourth Amendment to Master Deed dated July 31, 1989, as recorded on August 15, 1989, in Liber 11022, Pages 190 through 215, Oakland County Records, as amended by the Fifth Amendment to Master Deed dated March 19, 1990, as recorded on April 5, 1990, in Liber 11323, Pages 22 through 42, Oakland County Records, as amended by the Sixth Amendment to Master Deed dated October 11, 1990, as recorded on October 29, 1990 in Liber 11613, Pages 814 through 841, Oakland County Records, as amended by the Seventh Amendment to Master Deed dated January 23, 1991, as recorded on January 25, 1991 in Liber 11719, Pages 115 through 127, Oakland County Records, as amended by the Eighth Amendment to Master Deed dated May 15, 1991, as recorded on May 23, 1991 in Liber 11878, Pages 317 through 329, Oakland County Records, as amended by the Ninth Amendment to Master Deed dated June 18, 1991, as recorded on July 8, 1991 in Liber 11956, Pages 34 through 52, Oakland County Records, as amended by the Tenth Amendment to Master Deed dated January 7, 1992, as recorded on January 16, 1992 in Liber 12296, Pages 580 through 604, Oakland County Records, as amended by the Eleventh Amendment to Master Deed dated March 18, 1992, as recorded on May 29, 1992 in Liber 12647, Pages 118 through 140, Oakland County Records, as amended by the Twelfth Amendment to Master Deed dated October 1, 1992, as recorded on October 7, 1992 in Liber 12974, Pages 643 through 677, Oakland County Records, as amended by the Thirteenth Amendment to Master Deed dated June 16, 1993, as recorded on June 23, 1993, in Liber 13703, Pages 467 through 489, Oakland County Records, as amended by the Fourteenth Amendment to Master Deed, dated September 2, 1993, as recorded on September 3, 1993 in Liber 13931, Pages 3 through 40, Oakland County Records, as amended by the Fifteenth Amendment to Master Deed, dated March 2, 1994, as recorded on March 18, 1994 in Liber 14536, Pages 234 through 237, Oakland County Records, as amended by the Sixteenth Amendment to Master Deed, dated July 1, 1994, as recorded on July 7, 1994 in Liber 14812, Pages 416 through 462, Oakland County Records, as amended by the Seventeenth Amendment to Master Deed, dated August 17, 1994, as recorded on August 22, 1994 in Liber 14925, Pages 596 through 600, Oakland County Records, as amended by the Eighteenth Amendment to Master Deed, dated October 18, 1995, as recorded on October 31, 1995 in Liber 15785, Pages 160 through 215, Oakland County Records, as amended by the Nineteenth Amendment to Master Deed, recorded on

November 21, 1995 in Liber 15832, Pages 707 and 708, Oakland County Records, as amended by the Twentieth Amendment to Master Deed, recorded on October 25, 1996 in Liber 16715, Pages 522 through 561, Oakland County Records, as amended by the Twenty-First Amendment to Master Deed, recorded on October 22, 1997 in Liber 17708, Pages 713 through 752, Oakland County Records, as amended by the Twenty-Second Amendment to Master Deed, recorded on May 12, 1999 in Liber 19662, Pages 426 through 460, Oakland County Records and being known as Oakland County Condominium Subdivision Plan No. 508 (collectively, the "Master Deed"), hereby amends Article II of the Master Deed to provide for the addition of a right-of-way easement for utility purposes to the legal description for the land upon which the Condominium Project is located, and Article IV of the Master Deed, and the Condominium Subdivision Plan, being Exhibit B to the Master Deed, for the purposes of adding limited common element designations to the Master Deed. Upon the recordation of this Twenty-Third Amendment to Master Deed with the Oakland County Register of Deeds, the Master Deed of River Pines of Farmington shall be amended as follows:

1. The following land is hereby added to the Condominium Project as a right-of-way easement for utility purposes:

A permanent right-of-way easement over and across land situated in the City of Farmington Hills, County of Oakland, State of Michigan, which is herein referred to as Tract A.

Tract A is described as follows:

A parcel of land in the Northwest 1/4 of Section 33, Town 1 North, Range 9 East, being more particularly described as:

Beginning at a point in the North and South 1/4 line of Section 33 distant North 0 degrees 15 minutes 20 seconds East 878.10 feet from the center corner of Section 33; thence from the point of beginning South 75 degrees 16 minutes 20 seconds West 464.94 feet along the Northerly line of Bridgeman Avenue (60 feet wide); thence North 0 degrees 15 minutes 20 seconds East 315.0 feet; thence South 89 degrees 44 minutes 40 seconds East 449.13 feet; thence South 0 degrees 15 minutes 20 seconds West 194.78 feet along the North and South 1/4 line to the point of beginning.

The permanent right-of-way easement hereby conveyed, granted and transferred is over and across that certain triangular portion of Tract A described as:

Beginning at the Southwest corner of Tract A, thence North 75 degrees 16 minutes 20 seconds East along the Northwesterly line of Bridgeman Avenue (60 feet wide), also being the Southeasterly line of Tract A a distance of 20 feet; thence North 26 degrees 00 minutes 00 seconds West 44 feet, more or less, to a point on the West line of Tract A; thence South 0 degrees 15 minutes 20 seconds West, along said West line of Tract A, 45 feet, more or less, to the point of beginning of the parcel described for right-of-way easement.

2. Article II of the Master Deed as set forth below shall replace and supersede Article II of the original Master Deed, as amended, and Article II of the original Master Deed, as amended, shall be of no further force or effect:

**AMENDED ARTICLE II OF THE MASTER DEED OF  
RIVER PINES OF FARMINGTON CONDOMINIUM**

The land which is submitted to the Condominium Project established by this Master Deed is particularly described as follows:

Part of the Northwest 1/4 of Section 33 and also part of the Northeast 1/4 of Section 32, Town 1 North, Range 9 East, City of Farmington Hills, Oakland County, Michigan, described as:

Beginning at a point distant South 00 degrees 10 minutes 04 seconds East 60.00 feet along the West line of Section 33 and East line of Section 32 from the Northwest corner of Section 33; thence from said point of beginning North 89 degrees 53 minutes 50 seconds East, 362.67 feet along the South 60 foot right-of-way line of Nine Mile Road; thence South 00 degrees 10 minutes 04 seconds East, 540.00 feet; thence North 89 degrees 53 minutes 50 seconds East, 197.85 feet; thence North 00 degrees 10 minutes 04 seconds West, 540.00 feet; thence North 89 degrees 53 minutes 50 seconds East, 701.44 feet along said South right-of-way line of Nine Mile Road; thence South 00 degrees 03 minutes 30 seconds East, 1,260.37 feet; thence North 89 degrees 51 minutes 11 seconds East 923.62 feet; thence South 00 degrees 06 minutes 05 seconds East 576.32 feet; thence the following four (4) courses along the Northerly lines of "Fendt's Hilldale Subdivision" recorded in Liber 62 of Plats, Page 42, Oakland County Records: (1) South 74 degrees 58 minutes 54 seconds West 45.15 feet, (2) North 70 degrees 05 minutes 26 seconds West 250.00 feet, (3) South 19 degrees 55 minutes 41 seconds West, 271.11 feet, and (4) South 89 degrees 56 minutes 14 seconds West, 1,810.90 feet; thence along the West line of Section 33 and, in part, the following two (2) courses along the East and North lines of "Green Hill Commons No. 3" as recorded in Liber 157 of Plats, Pages 27 and 28, Oakland County Records: (1) North 00 degrees 10 minutes 04 seconds West 747.88 feet and (2) North 89 degrees 48 minutes 53 seconds West 874.54 feet; thence North 00 degrees 10 minutes 01 second West 1,002.79 feet; thence South 89 degrees 49 minutes 38 seconds East 205.00 feet; thence North 50 degrees 22 minutes 47 seconds East, 254.49 feet; thence North 00 degrees 10 minutes 00 seconds West, 100.87 feet; thence South 89 degrees 56 minutes 00 seconds East, 473.01 feet along the South 60 foot right-of-way line of Nine Mile Road to the point of beginning, containing 96.69 acres more or less, together with a permanent right-of-way easement over and across land situated in the City of Farmington Hills, County of Oakland, State of Michigan, which is herein referred to as Tract A.

Tract A is described as follows:

A parcel of land in the Northwest 1/4 of Section 33, Town 1 North, Range 9 East, being more particularly described as:

Beginning at a point in the North and South 1/4 line of Section 33 distant North 0 degrees 15 minutes 20 seconds East 878.10 feet from the center corner of Section 33; thence from the point of beginning South 75 degrees 16 minutes 20 seconds West 464.94 feet along the Northerly line of Bridgeman Avenue (60 feet wide); thence North 0 degrees 15 minutes 20 seconds East 315.0 feet; thence South 89 degrees 44 minutes 40 seconds East 449.13 feet; thence South 0

degrees 15 minutes 20 seconds West 194.78 feet along the North and South 1/4 line to the point of beginning.

The permanent right-of-way easement hereby conveyed, granted and transferred is over and across that certain triangular portion of Tract A described as:

Beginning at the Southwest corner of Tract A, thence North 75 degrees 16 minutes 20 seconds East along the Northwesterly line of Bridgeman Avenue (60 feet wide), also being the Southeasterly line of Tract A a distance of 20 feet; thence North 26 degrees 00 minutes 00 seconds West 44 feet, more or less, to a point on the West line of Tract A; thence South 0 degrees 15 minutes 20 seconds West, along said West line of Tract A, 45 feet, more or less, to the point of beginning of the parcel described for right-of-way easement.

3. The general common element convertible area shown on Sheet 3J of Replat No. 19 of the Condominium Subdivision Plan attached to the 22nd Amendment to Master Deed is hereby converted to a general common element maintenance garage, as shown on amended Sheet 3J, Replat No. 19 of the Condominium Subdivision Plan of River Pines of Farmington Condominium, which is attached hereto and incorporated herein by this reference.

4. Article IV, Sections 4.01, 4.02 and 4.03 of the Master Deed shall be modified by amending and restating subparagraphs (a), (b) and (q) of Section 4.01 and adding subparagraphs (r), (s) and (t) to Section 4.01, and by amending and restating subparagraph (l) of Section 4.02 and adding subparagraph (x) to Section 4.02 and by amending and restating Section 4.03 of the original Master Deed, as amended and as previously recorded, and Article IV, Sections 4.01(b) and (q), 4.02(l) and 4.03 of the original Master Deed, as amended and as previously recorded, shall be of no further force or effect:

**AMENDED ARTICLE IV, SECTION 4.01 (a) AND (b)  
AND (q), (r), (s) AND (t)  
OF THE MASTER DEED OF  
RIVER PINES OF FARMINGTON CONDOMINIUM**

4.01 (a) **Land.** The land described in Article II, including entranceway improvements, landscaping, ponds, retaining walls, roads and parking spaces.

(b) **Retention Ponds, Wells and Piping.** The retention ponds and the wells and related piping, if any, which may be constructed to renew the water level of the retention ponds.

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(q) **Sidewalks.** The sidewalks throughout the Project, as shown on Exhibit B.

(r) **Walking Paths.** The walking paths throughout the Project, as shown on Exhibit B.

(s) **Tennis Courts.** The tennis courts, as shown on Exhibit B.

(t) **Maintenance Building.** The maintenance building, as shown on Exhibit B.

(u) **Other.** All other elements of the Project not herein designated as Limited Common Elements which are not enclosed within the boundaries of a Unit, and which are intended for common use or necessary to the existence, upkeep and safety of the Project.

#### **AMENDED ARTICLE IV, SECTION 4.02(l) AND (x) OF THE MASTER DEED OF RIVER PINES OF FARMINGTON CONDOMINIUM**

4.02 (l) **Deck/Patio Area.** The area at the rear of each Unit which extends fifteen feet (15') from the exterior of the rear wall of the Unit and the area at the side of a Unit where the entrance door is at the side of the Unit which extends ten feet (10') from the exterior of the side wall of the Unit, which is appurtenant to and limited in use to the Co-owner of such Unit as shown on Exhibit B (the "Deck/Patio Area"). The Co-owner of such Unit shall have the right, after first receiving written approval from the Association of the plans and specifications for such improvements, to construct a deck or patio within the Deck/Patio Area, which shall be limited in use to the Co-owner of such Unit.

4.02 (x) **Skylights.** Each skylight which opens into a Unit from the roof of the building in which the Unit is located shall be assigned to the Unit into which it opens.

#### **AMENDED ARTICLE IV, SECTION 4.03 OF THE MASTER DEED OF RIVER PINES OF FARMINGTON CONDOMINIUM**

4.03 **Responsibilities for Maintenance, Etc.** The respective responsibilities for the maintenance, decoration, repair and replacement of the Common Elements are as follows:

(a) **Limited Common Elements**

- (i) **Co-owner.** The responsibility for and costs of maintenance, decoration, repair and replacement of the Limited Common Elements described in Article IV, Section 4.02 (a), (b), (c), (d), (e), (f), (g), (h), (i), (j), (l), (n), (o), (p), (q), (t), (v), (w) and (x) shall be borne by the Co-owner of the Unit to which they are assigned.
- (ii) **Co-owners.** The responsibility for and costs of maintenance, decoration, repair and replacement of the Limited Common Elements described in Article IV, Section 4.02 (s) shall be borne pro-rata by the Co-owners of the Units benefiting from such Limited Common Element.
- (iii) **Association.** The responsibility for and costs of maintenance, decoration, repair and replacement of all Limited Common Elements described in Article IV, Section 4.02 (k), (m), (r) and (u) shall be borne by the Association and shall be an expense of Administration of the condominium project.

5. Amended and added Sheets 1, 2, 3, 3J, 3K, and 4 of Replat No. 19 of the Condominium Subdivision Plan of River Pines of Farmington Condominium, as attached hereto, shall replace and supersede Sheets 1, 2, 3, 3J, 3K, and 4 of the Condominium Subdivision Plan of River Pines of Farmington Condominium as previously recorded.

6. Article V, Section 5.02 of the Master Deed as set forth below shall replace and supersede Article V, Section 5.02 of the original Master Deed, as amended and as previously recorded, and Article V, Section 5.02 of the original Master Deed, as amended and as previously recorded, shall be of no further force or effect:

**AMENDED ARTICLE V, SECTION 5.02 OF THE MASTER DEED OF RIVER PINES OF FARMINGTON CONDOMINIUM**

5.02 **Percentage of Value and Voting Rights.** The percentage of value assigned to each Unit shall be determined based on the relative size of each floor of a Unit and one-half the size of each basement of a Unit, excluding variations in area due to wall thickness. The amount of area contained in the space designated as "Optional 3d Bedroom" on Exhibit B shall not be included in determining the percentage of value of the Unit. For the purposes of determining the percentage of value, the size of the Unit shall be adjusted by an additional ten (10%) percent for any detached Unit or by an additional ten (10%) percent for any Unit with a walkout basement. In the case of a detached Unit having a walkout basement, the size of the Unit shall be adjusted by an additional twenty (20%) percent for the purposes of determining percentage of value. The percentage of value assigned to each Unit is set forth below. The percentage of value is determinative of the proportionate share of each respective co-owner in the proceeds and expenses of administration and the value of such co-owner's vote at meetings of the Association of Co-owners. The total value of the Project is one hundred (100%) percent. Each Unit number as it appears on the Condominium Subdivision Plan and the percentage of value assigned to each Unit is as follows:

<u>Unit Number</u>	<u>Percentage of Value</u>
1	.300
2	.268
3	.268
4	.295
5	.327
6	.327
7	.292
8	.321
9	.300
10	.268
11	.268
12	.295
13	.273
14	.243
15	.243
16	.268
17	.273
18	.243
19	.243
20	.268
21	.300
22	.243
23	.243

24	.273
25	.300
26	.243
27	.243
28	.273
29	.300
30	.268
31	.268
32	.295
33	.300
34	.268
35	.268
36	.330
37	.273
38	.243
39	.243
40	.268
41	.273
42	.243
43	.243
44	.268
45	.327
46	.321
47	.327
48	.327
49	.321
50	.292
51	.327
52	.327
53	.327
54	.321
55	.327
56	.268
57	.268
58	.243
59	.300
60	.273
61	.243
62	.268
63	.295
64	.273
65	.243
66	.243
67	.268
68	.360
69	.268
70	.300
71	.268
72	.268
73	.300
74	.273
75	.243
76	.243
77	.273

78	.273
79	.243
80	.243
81	.273
82	.273
83	.243
84	.243
85	.273
86	.327
87	.301
88	.300
89	.268
90	.268
91	.300
92	.292
93	.268
94	.356
95	.306
96	.321
97	.297
98	.257
99	.257
100	.297
101	.356
102	.327
103	.282
104	.282
105	.327
106	.297
107	.256
108	.256
109	.297
110	.321
111	.297
112	.257
113	.257
114	.297
115	.297
116	.257
117	.257
118	.297
119	.276
120	.282
121	.356
122	.400
123	.281
124	.281
125	.327
126	.400
127	.276
128	.276
129	.276
130	.297
131	.257

132	.247
133	.251
134	.333
135	.257
136	.257
137	.297
138	.297
139	.257
140	.247
141	.297
142	.402
143	.315
144	.306
145	.306
146	.292
147	.298
148	.256
149	.256
150	.251
151	.297
152	.256
153	.256
154	.333
155	.276
156	.276
157	.316
158	.306
159	.301
160	.301
161	.400
162	.306
163	.281
164	.256
165	.366
166	.251
167	.256
168	.247
169	.251
170	.333
171	.256
172	.247
173	.251
174	.342
175	.295
176	.256
177	.366
178	.256
179	.282
180	.327
181	.282
182	.282
183	.256
184	.256
185	.251

186	.247
187	.297
188	.256
189	.276
190	.282
191	.256
192	.276
193	.297
194	.256
195	.297
196	.300
197	.256
198	.247
199	.251
200	.297
201	.247
202	.256
203	.297
204	.297
205	.247
206	.256
207	.297
208	.297
209	.247
210	.256
211	.333
212	.333
213	.251
214	.333
215	.282
216	.347
217	.251
218	.256
219	.247
220	.297
221	.297
222	.256
223	.247
224	.297
225	.276
226	.271
227	.282
228	.366
229	.327
230	.251
231	.247
232	.256
233	.251
234	.282
235	.327
236	.282
237	.282
238	.327
239	.297

240	.256
241	.247
242	.297
243	.297
244	.256
245	.247
246	.297
247	.297
248	.256
249	.247
250	.297
251	.297
252	.247
253	.256
254	.297
255	.327
256	.327
257	.327
258	.282
259	.342
260	.256
261	.276
262	.282
263	.282
264	.297
265	.256
266	.247
267	.251
268	.251
269	.256
270	.247
271	.251
272	.282
273	.327
274	.282
275	.256
276	.282
277	.282
278	.297
279	.256
280	.247
281	.297
282	.301
283	.297
284	.356
285	.282
286	.282
287	.297
288	.256
289	.247
290	.297
291	.297
292	.256
293	.247

294	.297
295	.297
296	.256
297	.247
298	.297
299	.297
300	.256
301	.247
302	.297
303	.282
304	.276
305	.256
306	.297
307	.256
308	.247
309	.297
310	.251
311	.256
312	.247
313	.251
314	.251
315	.256
316	.247
317	.297
318	.282
319	.282
320	.327
321	.327
322	.282
323	.282
324	.282
325	.276
326	.297
327	.247
328	.256
329	.297
330	.297
331	.247
332	.256
333	.251
334	.297
335	.247
336	.256
337	.297
338	.297
339	.247
340	.256
341	.297
342	.297
343	.247
344	.256
345	.297
346	.327
347	.282

348	.297
349	.247
350	.256
351	.297
352	.297
353	.247
354	.256
355	.297
Total	100.000

In all respects, other than as indicated above, the previously recorded Master Deed of River Pines of Farmington Condominium, including the Condominium Bylaws and Condominium Subdivision Plan attached thereto as Exhibits A and B, respectively, is hereby ratified, confirmed and re-declared.

*The signature block and acknowledgment are contained  
in their entirety on the following page.*



REPLAT NO.19  
 OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 508  
 EXHIBIT "B" TO THE AMENDED MASTER DEED OF  
 RIVER PINES OF FARMINGTON CONDOMINIUM  
 CITY OF FARMINGTON, OAKLAND COUNTY, MICHIGAN.

**SURVEYOR**  
 ZEIMET WOZNIAK & ASSOC., INC.  
 28450 FRANKLIN RD.  
 SOUTHFIELD, MI. 48034

**DEVELOPER**  
 ITALO-AMERICAN CONDOMINIUM CORP.  
 21971 FARMINGTON RD.  
 FARMINGTON HILLS, MI. 48336

**LEGAL DESCRIPTION**

PART OF THE N.W. 1/4 OF SECTION 33 AND ALSO PART OF THE N.E. 1/4 OF SECTION 32, T. 1 N., R. 9 E., CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN DESCRIBED AS: BEGINNING AT A POINT DISTANT S. 00°10'04" E. 60.00 FEET ALONG THE WEST LINE OF SECTION 33 AND EAST LINE OF SECTION 32 FROM THE NORTHWEST CORNER OF SECTION 33; THENCE FROM SAID POINT OF BEGINNING N. 89°53'50" E. 362.67 FEET ALONG THE SOUTH 60 FOOT RIGHT-OF-WAY LINE OF NINE MILE ROAD; THENCE S. 00°10'04" E. 540.00 FEET; THENCE N. 89°53'50" E. 197.85 FEET; THENCE N. 00°10'04" W. 540.00 FEET; THENCE N. 89°53'50" E. 701.44 FEET ALONG SAID SOUTH RIGHT-OF-WAY LINE OF NINE MILE ROAD; THENCE S. 00°03'30" E. 1,240.37 FEET; THENCE N. 89°51'11" E. 923.62 FEET; THENCE S. 00°06'05" E. 576.32 FEET; THENCE THE FOLLOWING FOUR (4) COURSES ALONG THE NORTHERLY LINES OF "FENDT'S HILLDALE SUBDIVISION" RECORDED IN LIBER 62, PAGE 42, OAKLAND COUNTY RECORDS S. 74°58'54" W. 45.15 FEET, N. 70°05'26" W. 250.00 FEET, S. 19°55'41" W. 271.11 FEET AND S. 89°56'14" W. 1,810.90 FEET; THENCE ALONG THE WEST LINE OF SECTION 33 AND, IN PART, THE FOLLOWING TWO (2) COURSES ALONG THE EAST AND NORTH LINES OF "GREEN HILL COMMONS NO. 3" AS RECORDED IN LIBER 157, PAGES 27 AND 28, OAKLAND COUNTY RECORDS N. 00°10'04" W. 747.88 FEET AND N. 89°48'53" W. 874.54 FEET; THENCE N. 00°10'01" W. 1,002.79 FEET; THENCE S. 89°49'38" E. 205.00 FEET; THENCE N. 50°22'47" E. 254.49 FEET; THENCE N. 00°10'00" W. 100.87 FEET; THENCE S. 89°56'00" E. 473.01 FEET ALONG THE SOUTH 60 FOOT RIGHT-OF-WAY LINE OF NINE MILE ROAD TO THE POINT OF BEGINNING CONTAINING 96.69 ACRES MORE OR LESS, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

**SHEET INDEX**

- 29 TYPICAL BASEMENT FLOOR PLAN FOR UNIT TYPE "E" (UNITS 87,119,127-129,133,150,155,156,159,160,166,169,173,185,186,192,199,217,225,230,233,261,267,268,169,173,185,186,192,199,217,225,230,233,261,267,268)
- 30 TYPICAL FIRST FLOOR PLAN FOR UNIT TYPE "E" (UNITS SAME AS SHEET 29) 271,304,310,313,314,325,333)
- 31 TYPICAL CROSS SECTION FOR UNIT TYPE "E" (UNITS SAME AS SHEET 29)
- 32 PERIMETER PLAN FOR BUILDING 155 (UNITS 134,135,136,137)
- 33 TYPICAL BASEMENT & FIRST FLOOR PLAN FOR UNIT TYPE "D-2" (UNITS 122,126,134,154,161,165,170,177,211,212,214,228)
- 34 TYPICAL SECOND FLOOR PLAN & CROSS SECTION FOR UNIT TYPE "D-2" (UNITS SAME AS SHEET 33)
- 35 TYPICAL BASEMENT & FIRST FLOOR PLAN FOR UNIT TYPE "D-3" (UNIT 142 ONLY)
- 36 TYPICAL SECOND FLOOR PLAN & CROSS SECTION FOR UNIT TYPE "D-3" (UNIT 142 ONLY)

**SHEET INDEX**

- \* 1. TITLE PAGE
- 1A. SHEET INDEX (CONT.)
- \* 2. SURVEY & COMPOSITE PLAN
- 3. SITE PLAN
- 3A. SITE PLAN
- 3B. UTILITY PLAN
- 3C. UTILITY PLAN
- 3D. SITE PLAN
- 3E. UTILITY PLAN 3F. SITE PLAN \*3G. UTILITY PLAN 3H. SITE PLAN 3I. UTILITY PLAN \*3J. SITE PLAN \*3K. UTILITY PLAN
- 3L. SITE PLAN 3M. UTILITY PLAN 4. FLOOD PLAIN PLAN
- 5. TYPICAL BASEMENT PLAN FOR UNIT TYPE "A" (UNIT 1, 5, 6, 9, 13, 17, 24, 28, 29, 33, 37, 41, 45, 47, 48, 51, 52, 53, 55, 59, 60, 64, 70, 73, 74, 77, 78, 81, 82, 85, 86, 88, 91)
- 6. TYPICAL FIRST FLOOR PLAN FOR UNIT TYPE "A" (UNIT 1, 5, 6, 9, 13, 17, 24, 28, 29, 33, 37, 41, 45, 47, 48, 51, 52, 53, 55, 59, 60, 64, 70, 73, 74, 77, 78, 81, 82, 85, 86, 88, 91)
- 7. TYPICAL BASEMENT PLAN FOR UNIT TYPE "B" (UNIT 4, 8, 12, 16, 20, 32, 40, 44, 46, 49, 54, 56, 63, 67, 96, 110, 175)
- 8. TYPICAL FIRST FLOOR PLAN FOR UNIT TYPE "B" (UNIT 4, 8, 12, 16, 20, 32, 40, 44, 46, 49, 54, 56, 63, 67, 96, 110, 175)
- 9. TYPICAL SECOND FLOOR PLAN FOR UNIT TYPE "B" (UNIT 4, 8, 12, 16, 20, 32, 40, 44, 46, 49, 54, 56, 63, 67, 96, 110, 175)
- 10. TYPICAL BASEMENT PLAN FOR UNIT TYPE "C" (UNIT 2, 3, 7, 10, 11, 14, 15, 18, 19, 22, 23, 26, 27, 30, 31, 34, 35, 38, 39, 42, 43, 50, 57, 58, 61, 62, 65, 66, 68, 71, 72, 75, 76, 79, 80, 83, 84, 89, 90, 92, 93, 146)
- 11. TYPICAL FIRST FLOOR PLAN FOR UNIT TYPE "C" (UNIT 2, 3, 7, 10, 11, 14, 15, 18, 19, 22, 23, 26, 27, 30, 31, 34, 35, 38, 39, 42, 43, 50, 57, 58, 61, 62, 65, 66, 68, 71, 72, 75, 76, 79, 80, 83, 84, 89, 90, 92, 93, 146)
- 12. TYPICAL CROSS SECTIONS FOR UNIT TYPES "A" (UNIT 60, 61, 62, 64, 65, 66, 69 THRU 86, 88 THRU 92, AND "C" (UNIT 1, 2, 3, 5, 6, 7, 9, 10, 11, 13, 14, 15, 17, 18, 19, 22, 23, 24, 26 THRU 31, 33, 34, 35, 37, 38, 39, 41, 42, 43, 45, 47, 48, 50, 51, 52, 53, 55, 57, 58, 59, 146)
- 13. TYPICAL CROSS SECTIONS FOR UNIT TYPE "B" (UNIT 4, 8, 12, 16, 20, 32, 40, 44, 46, 49, 54, 56, 63, 67, 96, 110, 175)
- 14. TYPICAL CROSS SECTIONS FOR UNIT TYPES "A" (UNIT 60, 61, 62, 64, 65, 66, 69 THRU 86, 88 THRU 92, 165) AND "C" (UNIT 1, 2, 3, 5, 6, 7, 9, 10, 11, 13, 14, 15, 17, 18, 19, 22, 23, 24, 26 THRU 31, 33, 34, 35, 37, 38, 39, 41, 42, 43, 45, 47, 48, 50, 51, 52, 53, 55, 57, 58, 59, 146)
- 15. PERIMETER PLAN FOR BUILDINGS 4, 6, 12, 17, 21, 87, 91, 92)
- 16. TYPICAL BASEMENT PLAN FOR UNIT TYPE "D" (UNIT 21, 25, 36, 68, 196)
- 17. TYPICAL FIRST AND SECOND FLOOR PLAN FOR UNIT TYPE "D" (UNIT 21, 25, 36, 68, 196)
- 18. CROSS SECTION FOR UNIT TYPE "D" (UNIT 21, 25, 36, 68, 196)
- 19. PERIMETER PLAN FOR BUILDINGS 70, 85, 93.
- 20. PERIMETER PLAN FOR BUILDINGS 96, 97, 100, 101, 102.
- 21. TYPICAL BASEMENT PLAN FOR UNIT TYPE "A-2" & "A-4" (UNITS 94, 97, 100-102, 105, 106, 109, 111, 114, 115, 118, 121, 125, 130, 137, 138, 141, 147, 151, 180, 187, 193, 195, 200, 346, 203, 204, 207, 208, 216, 220, 221, 224, 228, 235, 238, 239, 242, 243, 246, 247, 250, 251, 254-257, 264, 273, 278, 281, 284, 287, 290, 291, 294, 295, 298, 299, 302, 306, 309, 317, 320, 321, 326, 329, 330, 334, 337, 338, 341, 342, 345, 348, 351, 352, 355)
- 22. TYPICAL FIRST FLOOR PLAN FOR UNIT TYPE "A-2" & "A-4" (UNITS SAME AS SHEET 21)
- 23. TYPICAL BASEMENT PLAN FOR UNIT TYPE "C-2" (UNIT 95, 123, 124)
- 24. TYPICAL FIRST FLOOR PLAN FOR UNIT TYPE "C-2" (UNIT 95, 123, 124)
- 25. TYPICAL CROSS SECTION FOR UNIT TYPES "A-2", "A-4", "C-2" & "C2-1" (UNITS 94, 95, 97-106, 109, 111-118, 120, 121, 123-125, 130, 135-138, 143, 141, 147, 151, 180, 187, 193, 195, 216, 229, 235, 238, 239, 242, 243, 246, 247, 250, 251, 254-257, 264, 273, 278, 281, 284, 287, 290, 291, 294, 295, 298, 299, 302, 306, 309, 317, 320, 321, 326, 329, 330, 334, 337, 338, 341, 342, 345, 348, 351, 352, 355)
- 26. INTENTIONALLY DELETED
- 27. TYPICAL BASEMENT AND FIRST FLOOR PLAN FOR UNIT TYPE "C2-1" (UNITS 98, 99, 103, 104, 112, 113, 116, 117, 120, 135, 136)
- 28. PERIMETER PLAN FOR BUILDINGS 103, 106, 154, 157 (UNITS 97-100, 102-105, 111-114, 115-118)

**NOTE:**

THE ASTERISK (\*) AS SHOWN IN THE SHEET INDEX INDICATES AMENDED OR ARE NEW SHEETS WHICH ARE REVISED, DATED APRIL 24, 2002 THESE SHEETS WITH THIS SUBMISSION ARE TO REPLACE OR BE SUPPLEMENTAL SHEETS TO THOSE PREVIOUSLY RECORDED.

**SHEET INDEX**

- 37. PERIMETER PLAN FOR BUILDING 68 (UNITS 151-154)
- 38. TYPICAL BASEMENT & FIRST FLOOR PLAN FOR UNIT TYPE "E-2" (UNIT 157)
- 39. TYPICAL CROSS SECTION FOR UNIT TYPE "E-2" (UNIT 157)
- 40. PERIMETER PLAN FOR BUILDING 130 (UNITS 147-150)
- 41. PERIMETER PLAN FOR BUILDING 156 (UNITS 106-109)
- 42. TYPICAL BASEMENT & FIRST FLOOR PLAN FOR UNIT TYPE "C-3" (UNITS 107, 108, 131, 139, 143, 144, 145, 148, 149, 152, 153, 158, 162, 163, 167, 171, 179, 181, 182, 187, 190, 194, 197, 202, 206, 210, 215, 218, 222, 227, 232, 234, 236, 237, 240, 244, 248, 253, 258, 262, 263, 265, 269, 272, 274, 276, 277, 279, 282, 286, 285, 286, 292, 323, 324, 296, 300, 303, 307, 311, 315, 318, 319, 322, 328, 332, 336, 340, 344, 347, 350, 354)
- 43. TYPICAL CROSS SECTION FOR UNIT TYPE "C-3" (UNITS SAME AS SHEET 42)
- 44. TYPICAL BASEMENT & FIRST FLOOR PLAN FOR UNIT TYPE "C-4" (UNITS 132, 140, 168, 172, 186, 198, 201, 205, 209, 219, 223, 226, 231, 241, 245, 249, 252, 266, 270, 280, 289, 293, 297, 301, 308, 312, 316, 327, 331, 335, 339, 343, 357)
- 45. TYPICAL CROSS SECTION FOR UNIT TYPE "C-4" (UNITS SAME AS SHEET 44)
- 46. TYPICAL BASEMENT & FIRST FLOOR PLAN FOR UNIT TYPE "G" (UNITS 164, 176, 178, 183, 184, 188, 191, 260, 275, 283, 305)
- 47. TYPICAL CROSS SECTION FOR UNIT "G" (UNITS 164, 176, 178, 183, 184, 188, 191, 260, 275, 283, 305)
- 48. PERIMETER PLAN FOR BUILDINGS 64, 133 (UNITS 130-133, 264-267)
- 49. INTENTIONALLY DELETED
- 50. PERIMETER PLAN FOR BUILDING 66 (UNITS 170-173)
- 51. PERIMETER PLAN FOR BUILDING 143 (UNITS 193-195)
- 52. PERIMETER PLAN FOR BUILDING 134 (UNITS 185-187)

*Eugene F. Zeimet*  
 Eugene F. Zeimet  
 PROPOSED



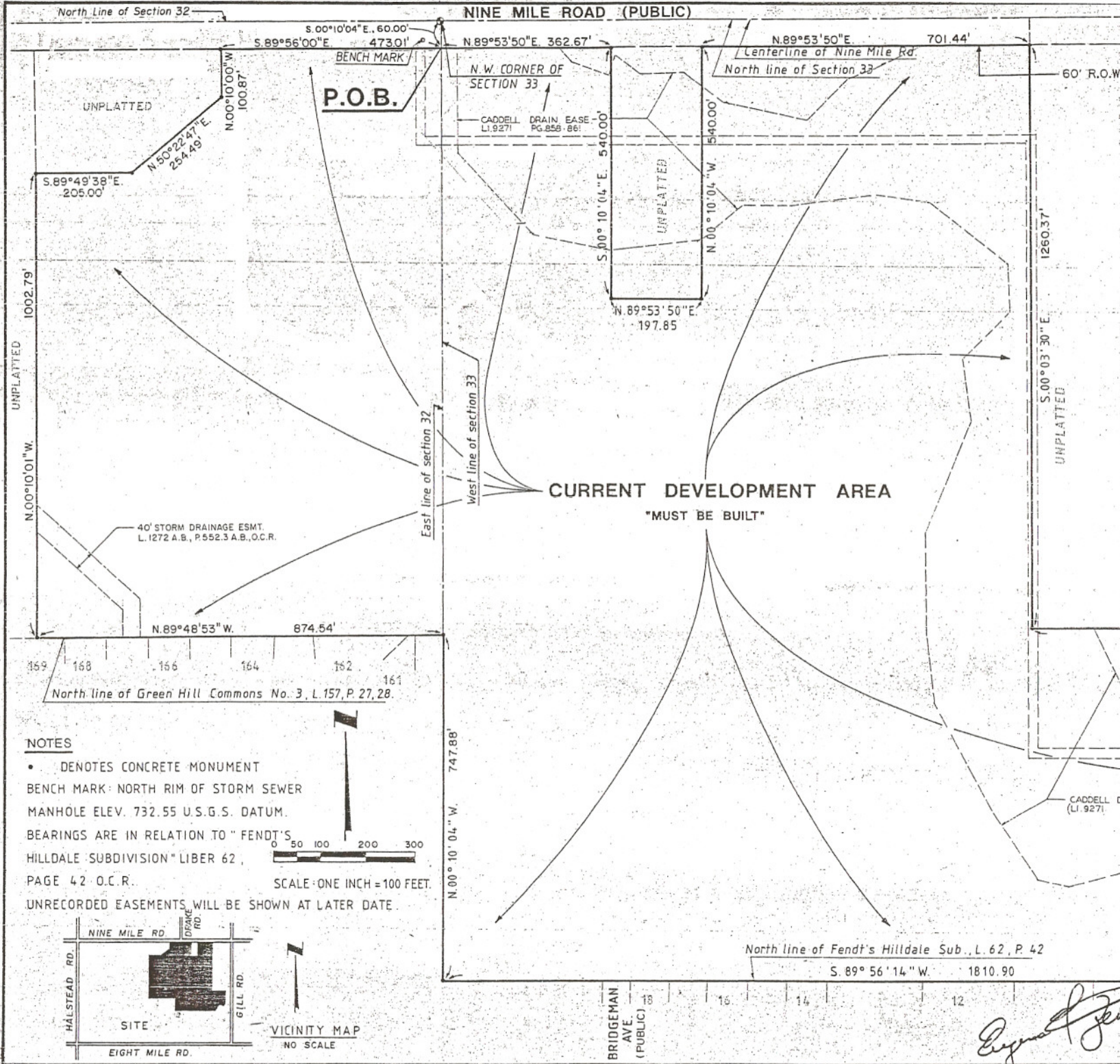
APRIL 24, 2002

RIVER PINES OF FARMINGTON CONDOMINIUM

TITLE PAGE

ZEIMET WOZNIAK  
 CIVIL ENGINEERS & LAND SURVEYORS  
 28450 FRANKLIN ROAD  
 SOUTHFIELD, MICHIGAN 48034  
 352-8550

SCALE  
 HOR. 1" = 100'  
 VERT. 1" = 10'  
 FIELD BOOK NO.  
 JOB # 2  
 SHEET # 1



**SURVEYOR'S CERTIFICATE:**

I, EUGENE F. ZEIMET, REGISTERED LAND SURVEYOR OF THE STATE OF MICHIGAN, HEREBY CERTIFY:

THAT THE SUBDIVISION PLAN KNOWN AS OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 508, AS SHOWN ON THE ACCOMPANYING DRAWINGS, REPRESENTS A SURVEY ON THE GROUND MADE UNDER MY DIRECTION; THAT THERE ARE NO EXISTING ENCROACHMENTS UPON THE LANDS;

THAT THE REQUIRED MONUMENTS AND IRON MARKERS HAVE NOT BEEN LOCATED IN THE GROUND AS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978;

THAT THE ACCURACY OF THIS SURVEY IS WITHIN THE LIMITS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978;

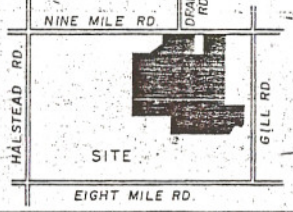
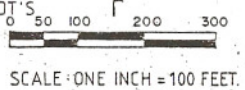
THAT THE BEARINGS AS SHOWN ARE NOTED ON SURVEY PLAN AS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF PUBLIC ACTS OF 1978.

APRIL 24, 2002  
DATE

*Eugene F. Zeimet*  
EUGENE F. ZEIMET  
REGISTERED LAND SURVEYOR  
REGISTRATION NUMBER 9209  
ZEIMET WOZNIAK & ASSOC. INC  
SOUTHFIELD, MICHIGAN 48034

**NOTES**

- DENOTES CONCRETE MONUMENT
- BENCH MARK: NORTH RIM OF STORM SEWER MANHOLE ELEV. 732.55 U.S.G.S. DATUM.
- BEARINGS ARE IN RELATION TO "FENDT'S HILLDALE SUBDIVISION" LIBER 62, PAGE 42 O.C.R.
- UNRECORDED EASEMENTS WILL BE SHOWN AT LATER DATE.



VICINITY MAP  
NO SCALE

APRIL 24, 2002  
PROPOSED  
RIVER PINES OF FARMINGTON  
CONDOMINIUM

**SURVEY & COMPOSITE PLAN**

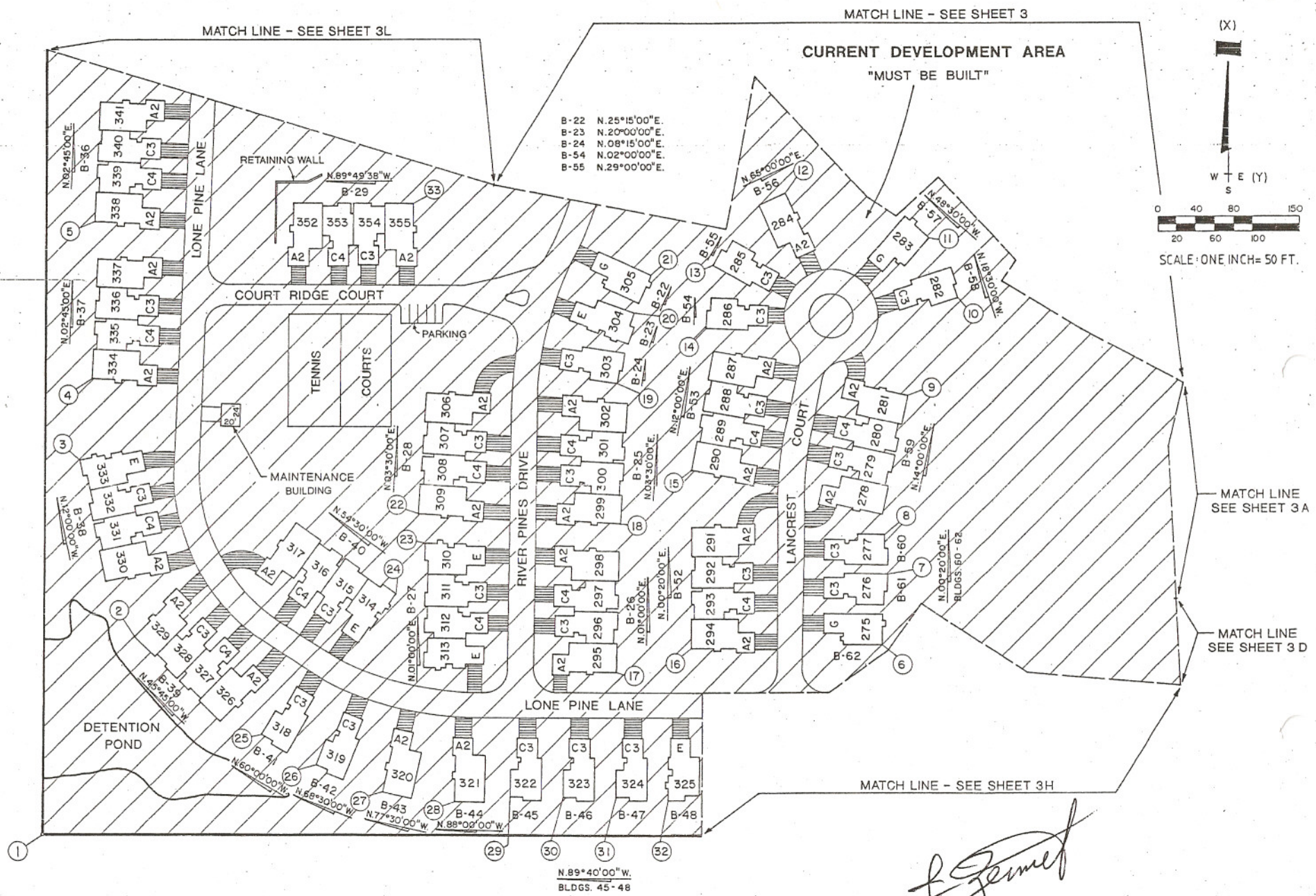
**ZEIMET WOZNIAK**  
CIVIL ENGINEERS & LAND SURVEYORS  
28450 FRANKLIN ROAD  
SOUTHFIELD, MICHIGAN 48034  
312-8500

SCALE	1" = 100'
JOB NO.	
SHEET NO.	2





COORDINATE VALUES		
NO.	NORTH	EAST
1	3674.80	4129.35
2	3886	4226
3	4075	4166
4	4163	4178
5	4330	4180
6	3887	5013
7	3952	5018
8	3995	5015
9	4124	5009
10	4228	5064
11	4293	5031
12	4341	4879
13	4280	4830
14	4213	4823
15	4044	4416
16	3875	4808
17	3850	4735
18	3987	4699
19	4137	4697
20	4254	4715
21	4252	4733
22	4016	4513
23	3984	4520
24	3932	4489
25	3846	4346
26	3749	4406
27	3721	4478
28	3710	4554
29	3718	4612
30	3717	4670
31	3716	4727
32	3712	4781
33	4349	4520



NOTE:  
 74 DENOTES UNIT NUMBER  
 ALL INTERIOR ROADS ARE PRIVATE  
 SEE SHEET NO. 3 FOR ADDITIONAL  
 NOTES AND LEGEND

*Eugene F. Zemet*  
 APRIL 24, 2002  
 CIVIL ENGINEERS & LAND SURVEYORS  
 28450 FRANKLIN ROAD  
 SOUTHFIELD, MICHIGAN 48034  
 352-8950

REVISIONS		
ITEM	DATE	BY

PROPOSED  
 RIVER PINES OF FARMINGTON  
 CONDOMINIUM  
 SITE PLAN  
 ZEIMET/WOZNIAK & ASSOCIATES, INC.  
 CIVIL ENGINEERS & LAND SURVEYORS  
 28450 FRANKLIN ROAD  
 SOUTHFIELD, MICHIGAN 48034  
 352-8950

SCALE  
 HOR: 1" = 20'  
 VER: 1" = 5'  
 FIELD BOOK NO.  
 JOB NO.  
 SHEET NO.  
 3J



## RIVERPINES 23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
1	1438	0	1393	2134.5	213.5	2348.0	0.003004
2	1283	0	1242	1904.0	190.4	2094.4	0.002680
3	1283	0	1242	1904.0	190.4	2094.4	0.002680
4	900	754	881	2094.5	209.5	2304.0	0.002948
5	1438	0	1393	2134.5	426.9	2561.4	0.003278
6	1438	0	1393	2134.5	426.9	2561.4	0.003278
7	1283	0	1242	1904.0	380.8	2284.8	0.002924
8	900	754	881	2094.5	418.9	2513.4	0.003216
9	1438	0	1393	2134.5	213.5	2348.0	0.003004
10	1283	0	1242	1904.0	190.4	2094.4	0.002680
11	1283	0	1242	1904.0	190.4	2094.4	0.002680
12	900	754	881	2094.5	209.5	2304.0	0.002948
13	1438	0	1393	2134.5	0.0	2134.5	0.002731
14	1283	0	1242	1904.0	0.0	1904.0	0.002436
15	1283	0	1242	1904.0	0.0	1904.0	0.002436
16	900	754	881	2094.5	0.0	2094.5	0.002680
17	1438	0	1393	2134.5	0.0	2134.5	0.002731
18	1283	0	1242	1904.0	0.0	1904.0	0.002436
19	1283	0	1242	1904.0	0.0	1904.0	0.002436
20	900	754	881	2094.5	0.0	2094.5	0.002680
21	1236	506	1211	2347.5	0.0	2347.5	0.003004
22	1283	0	1242	1904.0	0.0	1904.0	0.002436
23	1283	0	1242	1904.0	0.0	1904.0	0.002436
24	1438	0	1393	2134.5	0.0	2134.5	0.002731
25	1236	506	1211	2347.5	0.0	2347.5	0.003004
26	1283	0	1242	1904.0	0.0	1904.0	0.002436
27	1283	0	1242	1904.0	0.0	1904.0	0.002436
28	1438	0	1393	2134.5	0.0	2134.5	0.002731
29	1438	0	1393	2134.5	213.5	2348.0	0.003004
30	1283	0	1242	1904.0	190.4	2094.4	0.002680
31	1283	0	1242	1904.0	190.4	2094.4	0.002680
32	900	754	881	2094.5	209.5	2304.0	0.002948
33	1438	0	1393	2134.5	213.5	2348.0	0.003004
34	1283	0	1242	1904.0	190.4	2094.4	0.002680
35	1283	0	1242	1904.0	190.4	2094.4	0.002680
36	1236	506	1211	2347.5	234.8	2582.3	0.003304
37	1438	0	1393	2134.5	0.0	2134.5	0.002731
38	1283	0	1242	1904.0	0.0	1904.0	0.002436
39	1283	0	1242	1904.0	0.0	1904.0	0.002436
40	900	754	881	2094.5	0.0	2094.5	0.002680
41	1438	0	1393	2134.5	0.0	2134.5	0.002731
42	1283	0	1242	1904.0	0.0	1904.0	0.002436
43	1283	0	1242	1904.0	0.0	1904.0	0.002436
44	900	754	881	2094.5	0.0	2094.5	0.002680
45	1438	0	1393	2134.5	426.9	2561.4	0.003278
46	900	754	881	2094.5	418.9	2513.4	0.003216
47	1438	0	1393	2134.5	426.9	2561.4	0.003278
48	1438	0	1393	2134.5	426.9	2561.4	0.003278

## RIVERPINES

## 23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
49	900	754	881	2094.5	418.9	2513.4	0.003216
50	1283	0	1242	1904.0	380.8	2284.8	0.002924
51	1438	0	1393	2134.5	426.9	2561.4	0.003278
52	1438	0	1393	2134.5	426.9	2561.4	0.003278
53	1438	0	1393	2134.5	426.9	2561.4	0.003278
54	900	754	881	2094.5	418.9	2513.4	0.003216
55	1438	0	1393	2134.5	426.9	2561.4	0.003278
56	900	754	881	2094.5	0.0	2094.5	0.002680
57	1283	0	1242	1904.0	190.4	2094.4	0.002680
58	1283	0	1242	1904.0	0.0	1904.0	0.002436
59	1438	0	1393	2134.5	213.5	2348.0	0.003004
60	1438	0	1393	2134.5	0.0	2134.5	0.002731
61	1283	0	1242	1904.0	0.0	1904.0	0.002436
62	1283	0	1242	1904.0	190.4	2094.4	0.002680
63	900	754	881	2094.5	209.5	2304.0	0.002948
64	1438	0	1393	2134.5	0.0	2134.5	0.002731
65	1283	0	1242	1904.0	0.0	1904.0	0.002436
66	1283	0	1242	1904.0	0.0	1904.0	0.002436
67	900	754	881	2094.5	0.0	2094.5	0.002680
68	1236	506	1211	2347.5	469.5	2817.0	0.003605
69	1283	0	1242	1904.0	190.4	2094.4	0.002680
70	1438	0	1393	2134.5	213.5	2348.0	0.003004
71	1283	0	1242	1904.0	190.4	2094.4	0.002680
72	1283	0	1242	1904.0	190.4	2094.4	0.002680
73	1438	0	1393	2134.5	213.5	2348.0	0.003004
74	1438	0	1393	2134.5	0.0	2134.5	0.002731
75	1283	0	1242	1904.0	0.0	1904.0	0.002436
76	1283	0	1242	1904.0	0.0	1904.0	0.002436
77	1438	0	1393	2134.5	0.0	2134.5	0.002731
78	1438	0	1393	2134.5	0.0	2134.5	0.002731
79	1283	0	1242	1904.0	0.0	1904.0	0.002436
80	1283	0	1242	1904.0	0.0	1904.0	0.002436
81	1438	0	1393	2134.5	0.0	2134.5	0.002731
82	1438	0	1393	2134.5	0.0	2134.5	0.002731
83	1283	0	1242	1904.0	0.0	1904.0	0.002436
84	1283	0	1242	1904.0	0.0	1904.0	0.002436
85	1438	0	1393	2134.5	0.0	2134.5	0.002731
86	1438	0	1393	2134.5	426.9	2561.4	0.003278
87	1323	0	1274	1960.0	392.0	2352.0	0.003010
88	1438	0	1393	2134.5	213.5	2348.0	0.003004
89	1283	0	1242	1904.0	190.4	2094.4	0.002680
90	1283	0	1242	1904.0	190.4	2094.4	0.002680
91	1438	0	1393	2134.5	213.5	2348.0	0.003004
92	1283	0	1242	1904.0	380.8	2284.8	0.002924
93	1283	0	1242	1904.0	190.4	2094.4	0.002680
94	1571	0	1503	2322.5	464.5	2787.0	0.003566
95	1351	0	1295	1998.5	399.7	2398.2	0.003069
96	900	754	881	2094.5	418.9	2513.4	0.003216

**RIVERPINES                      23rd Amendment Master % Value List**

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
97	1571	0	1503	2322.5	0.0	2322.5	0.002972
98	1352	0	1310	2007.0	0.0	2007.0	0.002568
99	1352	0	1310	2007.0	0.0	2007.0	0.002568
100	1571	0	1503	2322.5	0.0	2322.5	0.002972
101	1571	0	1503	2322.5	464.5	2787.0	0.003566
102	1571	0	1503	2322.5	232.3	2554.8	0.003269
103	1352	0	1310	2007.0	200.7	2207.7	0.002825
104	1352	0	1310	2007.0	200.7	2207.7	0.002825
105	1571	0	1503	2322.5	232.3	2554.8	0.003269
106	1571	0	1503	2322.5	0.0	2322.5	0.002972
107	1347	0	1308	2001.0	0.0	2001.0	0.002560
108	1347	0	1308	2001.0	0.0	2001.0	0.002560
109	1571	0	1503	2322.5	0.0	2322.5	0.002972
110	900	754	881	2094.5	418.9	2513.4	0.003216
111	1571	0	1503	2322.5	0.0	2322.5	0.002972
112	1352	0	1310	2007.0	0.0	2007.0	0.002568
113	1352	0	1310	2007.0	0.0	2007.0	0.002568
114	1571	0	1503	2322.5	0.0	2322.5	0.002972
115	1571	0	1503	2322.5	0.0	2322.5	0.002972
116	1352	0	1310	2007.0	0.0	2007.0	0.002568
117	1352	0	1310	2007.0	0.0	2007.0	0.002568
118	1571	0	1503	2322.5	0.0	2322.5	0.002972
119	1323	0	1274	1960.0	196.0	2156.0	0.002759
120	1352	0	1310	2007.0	200.7	2207.7	0.002825
121	1571	0	1503	2322.5	464.5	2787.0	0.003566
122	1376	571	1314	2604.0	520.8	3124.8	0.003998
123	1351	0	1295	1998.5	199.9	2198.4	0.002813
124	1351	0	1295	1998.5	199.9	2198.4	0.002813
125	1571	0	1503	2322.5	232.3	2554.8	0.003269
126	1376	571	1314	2604.0	520.8	3124.8	0.003998
127	1323	0	1274	1960.0	196.0	2156.0	0.002759
128	1323	0	1274	1960.0	196.0	2156.0	0.002759
129	1323	0	1274	1960.0	196.0	2156.0	0.002759
130	1571	0	1503	2322.5	0.0	2322.5	0.002972
131	1347	0	1308	2001.0	0.0	2001.0	0.002560
132	1298	0	1262	1929.0	0.0	1929.0	0.002468
133	1323	0	1274	1960.0	0.0	1960.0	0.002508
134	1376	571	1314	2604.0	0.0	2604.0	0.003332
135	1352	0	1310	2007.0	0.0	2007.0	0.002568
136	1352	0	1310	2007.0	0.0	2007.0	0.002568
137	1571	0	1503	2322.5	0.0	2322.5	0.002972
138	1571	0	1503	2322.5	0.0	2322.5	0.002972
139	1347	0	1308	2001.0	0.0	2001.0	0.002560
140	1298	0	1262	1929.0	0.0	1929.0	0.002468
141	1571	0	1503	2322.5	0.0	2322.5	0.002972
142	1556	567	1474	2860.0	286.0	3146.0	0.004026
143	1347	0	1308	2001.0	400.2	2465.5	0.003155
144	1347	0	1308	2001.0	400.2	2401.2	0.003073

## RIVERPINES

## 23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
145	1347	0	1308	2001.0	400.2	2401.2	0.003073
146	1283	0	1242	1904.0	380.8	2284.8	0.002924
147	1571	0	1503	2322.5	0.0	2322.5	0.002972
148	1347	0	1308	2001.0	0.0	2001.0	0.002560
149	1347	0	1308	2001.0	0.0	2001.0	0.002560
150	1323	0	1274	1960.0	0.0	1960.0	0.002508
151	1571	0	1503	2322.5	0.0	2322.5	0.002972
152	1347	0	1308	2001.0	0.0	2001.0	0.002560
153	1347	0	1308	2001.0	0.0	2001.0	0.002560
154	1376	571	1314	2604.0	0.0	2604.0	0.003332
155	1323	0	1274	1960.0	196.0	2156.0	0.002759
156	1323	0	1274	1960.0	196.0	2156.0	0.002759
157	1382	0	1368	2066.0	413.2	2479.2	0.003172
158	1347	0	1308	2001.0	400.2	2401.2	0.003073
159	1323	0	1274	1960.0	392.0	2352.0	0.003010
160	1323	0	1274	1960.0	392.0	2352.0	0.003010
161	1376	571	1314	2604.0	520.8	3124.8	0.003998
162	1347	0	1308	2001.0	400.2	2401.2	0.003073
163	1347	0	1308	2001.0	200.1	2201.1	0.002817
164	1222	0	1199	1821.5	182.2	2003.7	0.002564
165	1376	571	1314	2604.0	260.4	2864.4	0.003665
166	1323	0	1274	1960.0	0.0	1960.0	0.002508
167	1347	0	1308	2001.0	0.0	2001.0	0.002560
168	1298	0	1262	1929.0	0.0	1929.0	0.002468
169	1323	0	1274	1960.0	0.0	1960.0	0.002508
170	1376	571	1314	2604.0	0.0	2604.0	0.003332
171	1347	0	1308	2001.0	0.0	2001.0	0.002560
172	1298	0	1262	1929.0	0.0	1929.0	0.002468
173	1323	0	1274	1960.0	0.0	1960.0	0.002508
174	1625	0	1620	2435.0	243.5	2678.5	0.003427
175	900	754	881	2094.5	209.5	2304.0	0.002948
176	1222	0	1199	1821.5	182.2	2003.7	0.002564
177	1376	571	1314	2604.0	260.4	2864.4	0.003665
178	1222	0	1199	1821.5	182.2	2003.7	0.002564
179	1347	0	1308	2001.0	200.1	2201.1	0.002817
180	1571	0	1503	2322.5	232.3	2554.8	0.003269
181	1347	0	1308	2001.0	200.1	2201.1	0.002817
182	1347	0	1308	2001.0	200.1	2201.1	0.002817
183	1222	0	1199	1821.5	182.2	2003.7	0.002564
184	1222	0	1199	1821.5	182.2	2003.7	0.002564
185	1323	0	1274	1960.0	0.0	1960.0	0.002508
186	1298	0	1262	1929.0	0.0	1929.0	0.002468
187	1571	0	1503	2322.5	0.0	2322.5	0.002972
188	1222	0	1199	1821.5	182.2	2003.7	0.002564
189	1323	0	1274	1960.0	196.0	2156.0	0.002759
190	1347	0	1308	2001.0	200.1	2201.1	0.002817
191	1222	0	1199	1821.5	182.2	2003.7	0.002564
192	1323	0	1274	1960.0	196.0	2156.0	0.002759

## RIVERPINES

## 23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
193	1571	0	1503	2322.5	0.0	2322.5	0.002972
194	1347	0	1308	2001.0	0.0	2001.0	0.002560
195	1571	0	1503	2322.5	0.0	2322.5	0.002972
196	1236	506	1211	2347.5	0.0	2347.5	0.003004
197	1347	0	1308	2001.0	0.0	2001.0	0.002560
198	1298	0	1262	1929.0	0.0	1929.0	0.002468
199	1323	0	1274	1960.0	0.0	1960.0	0.002508
200	1571	0	1503	2322.5	0.0	2322.5	0.002972
201	1298	0	1262	1929.0	0.0	1929.0	0.002468
202	1347	0	1308	2001.0	0.0	2001.0	0.002560
203	1571	0	1503	2322.5	0.0	2322.5	0.002972
204	1571	0	1503	2322.5	0.0	2322.5	0.002972
205	1298	0	1262	1929.0	0.0	1929.0	0.002468
206	1347	0	1308	2001.0	0.0	2001.0	0.002560
207	1571	0	1503	2322.5	0.0	2322.5	0.002972
208	1571	0	1503	2322.5	0.0	2322.5	0.002972
209	1298	0	1262	1929.0	0.0	1929.0	0.002468
210	1347	0	1308	2001.0	0.0	2001.0	0.002560
211	1376	571	1314	2604.0	0.0	2604.0	0.003332
212	1376	571	1314	2604.0	0.0	2604.0	0.003332
213	1329	0	1267	1962.5	0.0	1962.5	0.002511
214	1376	571	1314	2604.0	0.0	2604.0	0.003332
215	1347	0	1308	2001.0	200.1	2201.1	0.002817
216	1669	0	1601	2469.5	247.0	2716.5	0.003476
217	1323	0	1274	1960.0	0.0	1960.0	0.002508
218	1347	0	1308	2001.0	0.0	2001.0	0.002560
219	1298	0	1262	1929.0	0.0	1929.0	0.002468
220	1571	0	1503	2322.5	0.0	2322.5	0.002972
221	1571	0	1503	2322.5	0.0	2322.5	0.002972
222	1347	0	1308	2001.0	0.0	2001.0	0.002560
223	1298	0	1262	1929.0	0.0	1929.0	0.002468
224	1571	0	1503	2322.5	0.0	2322.5	0.002972
225	1323	0	1274	1960.0	196.0	2156.0	0.002759
226	1298	0	1262	1929.0	192.9	2121.9	0.002715
227	1347	0	1308	2001.0	200.1	2201.1	0.002817
228	1376	571	1314	2604.0	260.4	2864.4	0.003665
229	1571	0	1503	2322.5	232.3	2554.8	0.003269
230	1323	0	1274	1960.0	0.0	1960.0	0.002508
231	1298	0	1262	1929.0	0.0	1929.0	0.002468
232	1347	0	1308	2001.0	0.0	2001.0	0.002560
233	1323	0	1274	1960.0	0.0	1960.0	0.002508
234	1347	0	1308	2001.0	200.1	2201.1	0.002817
235	1571	0	1503	2322.5	232.3	2554.8	0.003269
236	1347	0	1308	2001.0	200.1	2201.1	0.002817
237	1347	0	1308	2001.0	200.1	2201.1	0.002817
238	1571	0	1503	2322.5	232.3	2554.8	0.003269
239	1571	0	1503	2322.5	0.0	2322.5	0.002972
240	1347	0	1308	2001.0	0.0	2001.0	0.002560

**RIVERPINES                      23rd Amendment Master % Value List**

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
241	1298	0	1262	1929.0	0.0	1929.0	0.002468
242	1571	0	1503	2322.5	0.0	2322.5	0.002972
243	1571	0	1503	2322.5	0.0	2322.5	0.002972
244	1347	0	1308	2001.0	0.0	2001.0	0.002560
245	1298	0	1262	1929.0	0.0	1929.0	0.002468
246	1571	0	1503	2322.5	0.0	2322.5	0.002972
247	1571	0	1503	2322.5	0.0	2322.5	0.002972
248	1347	0	1308	2001.0	0.0	2001.0	0.002560
249	1298	0	1262	1929.0	0.0	1929.0	0.002468
250	1571	0	1503	2322.5	0.0	2322.5	0.002972
251	1571	0	1503	2322.5	0.0	2322.5	0.002972
252	1298	0	1262	1929.0	0.0	1929.0	0.002468
253	1347	0	1308	2001.0	0.0	2001.0	0.002560
254	1571	0	1503	2322.5	0.0	2322.5	0.002972
255	1571	0	1503	2322.5	232.3	2554.8	0.003269
256	1571	0	1503	2322.5	232.3	2554.8	0.003269
257	1571	0	1503	2322.5	232.3	2554.8	0.003269
258	1347	0	1308	2001.0	200.1	2201.1	0.002817
259	1625	0	1620	2435.0	243.5	2678.5	0.003427
260	1222	0	1199	1821.5	182.2	2003.7	0.002564
261	1323	0	1274	1960.0	196.0	2156.0	0.002759
262	1347	0	1308	2001.0	200.1	2201.1	0.002817
263	1347	0	1308	2001.0	200.1	2201.1	0.002817
264	1571	0	1503	2322.5	0.0	2322.5	0.002972
265	1347	0	1308	2001.0	0.0	2001.0	0.002560
266	1298	0	1262	1929.0	0.0	1929.0	0.002468
267	1323	0	1274	1960.0	0.0	1960.0	0.002508
268	1323	0	1274	1960.0	0.0	1960.0	0.002508
269	1347	0	1308	2001.0	0.0	2001.0	0.002560
270	1298	0	1262	1929.0	0.0	1929.0	0.002468
271	1323	0	1274	1960.0	0.0	1960.0	0.002508
272	1347	0	1308	2001.0	200.1	2201.1	0.002817
273	1571	0	1503	2322.5	232.3	2554.8	0.003269
274	1347	0	1308	2001.0	200.1	2201.1	0.003067
275	1222	0	1199	1821.5	182.2	2003.7	0.002564
276	1347	0	1308	2001.0	200.1	2201.1	0.002817
277	1347	0	1308	2001.0	200.1	2201.1	0.002817
278	1571	0	1503	2322.5	0.0	2322.5	0.002972
279	1347	0	1308	2001.0	0.0	2001.0	0.002560
280	1298	0	1262	1929.0	0.0	1929.0	0.002468
281	1571	0	1503	2322.5	0.0	2322.5	0.002972
282	1442	0	1398	2141.0	214.1	2355.1	0.003014
283	1300	0	1276	1938.0	387.6	2325.6	0.002976
284	1571	0	1503	2322.5	464.5	2787.0	0.003566
285	1347	0	1308	2001.0	200.1	2201.1	0.002817
286	1347	0	1308	2001.0	200.1	2201.1	0.002817
287	1571	0	1503	2322.5	0.0	2322.5	0.002972
288	1347	0	1308	2001.0	0.0	2001.0	0.002560

## RIVERPINES

## 23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
289	1298	0	1262	1929.0	0.0	1929.0	0.002468
290	1571	0	1503	2322.5	0.0	2322.5	0.002972
291	1571	0	1503	2322.5	0.0	2322.5	0.002972
292	1347	0	1308	2001.0	0.0	2001.0	0.002560
293	1298	0	1262	1929.0	0.0	1929.0	0.002468
294	1571	0	1503	2322.5	0.0	2322.5	0.002972
295	1571	0	1503	2322.5	0.0	2322.5	0.002972
296	1347	0	1308	2001.0	0.0	2001.0	0.002560
297	1298	0	1262	1929.0	0.0	1929.0	0.002468
298	1571	0	1503	2322.5	0.0	2322.5	0.002972
299	1571	0	1503	2322.5	0.0	2322.5	0.002972
300	1347	0	1308	2001.0	0.0	2001.0	0.002560
301	1298	0	1262	1929.0	0.0	1929.0	0.002468
302	1571	0	1503	2322.5	0.0	2322.5	0.002972
303	1347	0	1308	2001.0	200.1	2201.1	0.002817
304	1323	0	1274	1960.0	196.0	2156.0	0.002759
305	1222	0	1199	1821.5	182.2	2003.7	0.002564
306	1571	0	1503	2322.5	0.0	2322.5	0.002972
307	1347	0	1308	2001.0	0.0	2001.0	0.002560
308	1298	0	1262	1929.0	0.0	1929.0	0.002468
309	1571	0	1503	2322.5	0.0	2322.5	0.002972
310	1323	0	1274	1960.0	0.0	1960.0	0.002508
311	1347	0	1308	2001.0	0.0	2001.0	0.002560
312	1298	0	1262	1929.0	0.0	1929.0	0.002468
313	1323	0	1274	1960.0	0.0	1960.0	0.002508
314	1323	0	1274	1960.0	0.0	1960.0	0.002508
315	1347	0	1308	2001.0	0.0	2001.0	0.002560
316	1298	0	1262	1929.0	0.0	1929.0	0.002468
317	1571	0	1503	2322.5	0.0	2322.5	0.002972
318	1347	0	1308	2001.0	200.1	2201.1	0.002817
319	1347	0	1308	2001.0	200.1	2201.1	0.002817
320	1571	0	1503	2322.5	232.3	2554.8	0.003269
321	1347	0	1308	2001.0	200.1	2201.1	0.002817
322	1347	0	1308	2001.0	200.1	2201.1	0.002817
323	1347	0	1308	2001.0	200.1	2201.1	0.002817
324	1347	0	1308	2001.0	200.1	2201.1	0.002817
325	1323	0	1274	1960.0	196.0	2156.0	0.002759
326	1571	0	1503	2322.5	0.0	2322.5	0.002972
327	1298	0	1262	1929.0	0.0	1929.0	0.002468
328	1347	0	1308	2001.0	0.0	2001.0	0.002560
329	1571	0	1503	2322.5	0.0	2322.5	0.002972
330	1571	0	1503	2322.5	0.0	2322.5	0.002972
331	1298	0	1262	1929.0	0.0	1929.0	0.002468
332	1347	0	1308	2001.0	0.0	2001.0	0.002560
333	1323	0	1274	1960.0	0.0	1960.0	0.002508
334	1571	0	1503	2322.5	0.0	2322.5	0.002972
335	1298	0	1262	1929.0	0.0	1929.0	0.002468
336	1347	0	1308	2001.0	0.0	2001.0	0.002560

RIVERPINES

23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
337	1571	0	1503	2322.5	0.0	2322.5	0.002972
338	1571	0	1503	2322.5	0.0	2322.5	0.002972
339	1298	0	1262	1929.0	0.0	1929.0	0.002468
340	1347	0	1308	2001.0	0.0	2001.0	0.002560
341	1571	0	1503	2322.5	0.0	2322.5	0.002972
342	1571	0	1503	2322.5	0.0	2322.5	0.002972
343	1298	0	1262	1929.0	0.0	1929.0	0.002468
344	1347	0	1308	2001.0	0.0	2001.0	0.002560
345	1571	0	1503	2322.5	0.0	2322.5	0.002972
346	1571	0	1503	2322.5	232.3	2554.8	0.003269
347	1347	0	1308	2001.0	200.1	2201.1	0.002817
348	1571	0	1503	2322.5	0.0	2322.5	0.002972
349	1298	0	1262	1929.0	0.0	1929.0	0.002468
350	1347	0	1308	2001.0	0.0	2001.0	0.002560
351	1571	0	1503	2322.5	0.0	2322.5	0.002972
352	1571	0	1503	2322.5	0.0	2322.5	0.002972
353	1298	0	1262	1929.0	0.0	1929.0	0.002468
354	1347	0	1308	2001.0	0.0	2001.0	0.002560
355	1571	0	1503	2322.5	0.0	2322.5	0.002972
<b>TOTALS</b>						<b>781494.7</b>	<b>0.9178</b>

UNIT	%	UNIT	%	UNIT	%	UNIT	%	UNIT	%	UNIT	%	UNIT	%
1	0.300	51	0.328	101	0.357	151	0.297	201	0.247	251	0.297	301	0.247
2	0.268	52	0.328	102	0.327	152	0.256	202	0.256	252	0.247	302	0.297
3	0.268	53	0.328	103	0.282	153	0.256	203	0.297	253	0.256	303	0.282
4	0.295	54	0.322	104	0.282	154	0.333	204	0.297	254	0.297	304	0.275
5	0.328	55	0.328	105	0.327	155	0.275	205	0.247	255	0.327	305	0.256
6	0.328	56	0.268	106	0.297	156	0.275	206	0.256	256	0.327	306	0.297
7	0.292	57	0.268	107	0.256	157	0.318	207	0.297	257	0.327	307	0.256
8	0.322	58	0.244	108	0.256	158	0.307	208	0.297	258	0.282	308	0.247
9	0.300	59	0.300	109	0.297	159	0.3	209	0.247	259	0.343	309	0.297
10	0.268	60	0.273	110	0.322	160	0.3	210	0.256	260	0.256	310	0.25
11	0.268	61	0.244	111	0.297	161	0.400	211	0.333	261	0.275	311	0.256
12	0.295	62	0.268	112	0.257	162	0.307	212	0.333	262	0.282	312	0.247
13	0.273	63	0.295	113	0.257	163	0.282	213	0.251	263	0.282	313	0.25
14	0.244	64	0.273	114	0.297	164	0.256	214	0.333	264	0.297	314	0.25
15	0.244	65	0.244	115	0.297	165	0.366	215	0.282	265	0.256	315	0.256
16	0.268	66	0.244	116	0.257	166	0.25	216	0.348	266	0.247	316	0.247
17	0.273	67	0.268	117	0.257	167	0.256	217	0.25	267	0.25	317	0.297
18	0.244	68	0.360	118	0.297	168	0.247	218	0.256	268	0.25	318	0.282
19	0.244	69	0.268	119	0.275	169	0.25	219	0.247	269	0.256	319	0.282
20	0.268	70	0.300	120	0.282	170	0.333	220	0.297	270	0.247	320	0.327
21	0.300	71	0.268	121	0.357	171	0.256	221	0.297	271	0.25	321	0.282
22	0.244	72	0.268	122	0.400	172	0.247	222	0.256	272	0.282	322	0.282
23	0.244	73	0.300	123	0.281	173	0.25	223	0.247	273	0.327	323	0.282
24	0.273	74	0.273	124	0.281	174	0.343	224	0.297	274	0.307	324	0.282
25	0.300	75	0.244	125	0.327	175	0.295	225	0.275	275	0.256	325	0.275
26	0.244	76	0.244	126	0.400	176	0.256	226	0.271	276	0.282	326	0.297
27	0.244	77	0.273	127	0.275	177	0.366	227	0.282	277	0.282	327	0.247
28	0.273	78	0.273	128	0.275	178	0.256	228	0.366	278	0.297	328	0.256
29	0.300	79	0.244	129	0.275	179	0.282	229	0.327	279	0.256	329	0.297
30	0.268	80	0.244	130	0.297	180	0.327	230	0.25	280	0.247	330	0.297
31	0.268	81	0.273	131	0.256	181	0.282	231	0.247	281	0.297	331	0.247
32	0.295	82	0.273	132	0.247	182	0.282	232	0.256	282	0.301	332	0.256
33	0.300	83	0.244	133	0.25	183	0.256	233	0.25	283	0.298	333	0.25
34	0.268	84	0.244	134	0.333	184	0.256	234	0.282	284	0.357	334	0.297
35	0.268	85	0.273	135	0.257	185	0.25	235	0.327	285	0.282	335	0.247

36	0.330	86	0.328	136	0.257	186	0.247	236	0.282	286	0.282	336	0.256	
37	0.273	87	0.3	137	0.297	187	0.297	237	0.282	287	0.297	337	0.297	
38	0.244	88	0.300	138	0.297	188	0.256	238	0.327	288	0.256	338	0.297	
39	0.244	89	0.268	139	0.256	189	0.275	239	0.297	289	0.247	339	0.247	
40	0.268	90	0.268	140	0.247	190	0.282	240	0.256	290	0.297	340	0.256	
41	0.273	91	0.300	141	0.297	191	0.256	241	0.247	291	0.297	341	0.297	
42	0.244	92	0.292	142	0.403	192	0.275	242	0.297	292	0.256	342	0.297	
43	0.244	93	0.268	143	0.315	193	0.297	243	0.297	293	0.247	343	0.247	
44	0.268	94	0.357	144	0.307	194	0.256	244	0.256	294	0.297	344	0.256	
45	0.328	95	0.307	145	0.307	195	0.297	245	0.247	295	0.297	345	0.297	
46	0.322	96	0.322	146	0.292	196	0.300	246	0.297	296	0.256	346	0.327	
47	0.328	97	0.297	147	0.297	197	0.256	247	0.297	297	0.247	347	0.282	
48	0.328	98	0.257	148	0.256	198	0.247	248	0.256	298	0.297	348	0.297	
49	0.322	99	0.257	149	0.256	199	0.25	249	0.247	299	0.297	349	0.247	
50	0.292	100	0.297	150	0.250	200	0.297	250	0.297	300	0.256	350	0.256	
												351	0.297	
												352	0.297	
												353	0.247	
												354	0.256	
												355	0.297	
TOTALS:	13.987		14.107		14.621		14.156		14.039		14.048		15.042	100.000

## RIVERPINES 23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
1	1438	0	1393	2134.5	213.5	2348.0	0.003004
2	1283	0	1242	1904.0	190.4	2094.4	0.002680
3	1283	0	1242	1904.0	190.4	2094.4	0.002680
4	900	754	881	2094.5	209.5	2304.0	0.002948
5	1438	0	1393	2134.5	426.9	2561.4	0.003278
6	1438	0	1393	2134.5	426.9	2561.4	0.003278
7	1283	0	1242	1904.0	380.8	2284.8	0.002924
8	900	754	881	2094.5	418.9	2513.4	0.003216
9	1438	0	1393	2134.5	213.5	2348.0	0.003004
10	1283	0	1242	1904.0	190.4	2094.4	0.002680
11	1283	0	1242	1904.0	190.4	2094.4	0.002680
12	900	754	881	2094.5	209.5	2304.0	0.002948
13	1438	0	1393	2134.5	0.0	2134.5	0.002731
14	1283	0	1242	1904.0	0.0	1904.0	0.002436
15	1283	0	1242	1904.0	0.0	1904.0	0.002436
16	900	754	881	2094.5	0.0	2094.5	0.002680
17	1438	0	1393	2134.5	0.0	2134.5	0.002731
18	1283	0	1242	1904.0	0.0	1904.0	0.002436
19	1283	0	1242	1904.0	0.0	1904.0	0.002436
20	900	754	881	2094.5	0.0	2094.5	0.002680
21	1236	506	1211	2347.5	0.0	2347.5	0.003004
22	1283	0	1242	1904.0	0.0	1904.0	0.002436
23	1283	0	1242	1904.0	0.0	1904.0	0.002436
24	1438	0	1393	2134.5	0.0	2134.5	0.002731
25	1236	506	1211	2347.5	0.0	2347.5	0.003004
26	1283	0	1242	1904.0	0.0	1904.0	0.002436
27	1283	0	1242	1904.0	0.0	1904.0	0.002436
28	1438	0	1393	2134.5	0.0	2134.5	0.002731
29	1438	0	1393	2134.5	213.5	2348.0	0.003004
30	1283	0	1242	1904.0	190.4	2094.4	0.002680
31	1283	0	1242	1904.0	190.4	2094.4	0.002680
32	900	754	881	2094.5	209.5	2304.0	0.002948
33	1438	0	1393	2134.5	213.5	2348.0	0.003004
34	1283	0	1242	1904.0	190.4	2094.4	0.002680
35	1283	0	1242	1904.0	190.4	2094.4	0.002680
36	1236	506	1211	2347.5	234.8	2582.3	0.003304
37	1438	0	1393	2134.5	0.0	2134.5	0.002731
38	1283	0	1242	1904.0	0.0	1904.0	0.002436
39	1283	0	1242	1904.0	0.0	1904.0	0.002436
40	900	754	881	2094.5	0.0	2094.5	0.002680
41	1438	0	1393	2134.5	0.0	2134.5	0.002731
42	1283	0	1242	1904.0	0.0	1904.0	0.002436
43	1283	0	1242	1904.0	0.0	1904.0	0.002436
44	900	754	881	2094.5	0.0	2094.5	0.002680
45	1438	0	1393	2134.5	426.9	2561.4	0.003278
46	900	754	881	2094.5	418.9	2513.4	0.003216
47	1438	0	1393	2134.5	426.9	2561.4	0.003278
48	1438	0	1393	2134.5	426.9	2561.4	0.003278

## RIVERPINES

## 23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
49	900	754	881	2094.5	418.9	2513.4	0.003216
50	1283	0	1242	1904.0	380.8	2284.8	0.002924
51	1438	0	1393	2134.5	426.9	2561.4	0.003278
52	1438	0	1393	2134.5	426.9	2561.4	0.003278
53	1438	0	1393	2134.5	426.9	2561.4	0.003278
54	900	754	881	2094.5	418.9	2513.4	0.003216
55	1438	0	1393	2134.5	426.9	2561.4	0.003278
56	900	754	881	2094.5	0.0	2094.5	0.002680
57	1283	0	1242	1904.0	190.4	2094.4	0.002680
58	1283	0	1242	1904.0	0.0	1904.0	0.002436
59	1438	0	1393	2134.5	213.5	2348.0	0.003004
60	1438	0	1393	2134.5	0.0	2134.5	0.002731
61	1283	0	1242	1904.0	0.0	1904.0	0.002436
62	1283	0	1242	1904.0	190.4	2094.4	0.002680
63	900	754	881	2094.5	209.5	2304.0	0.002948
64	1438	0	1393	2134.5	0.0	2134.5	0.002731
65	1283	0	1242	1904.0	0.0	1904.0	0.002436
66	1283	0	1242	1904.0	0.0	1904.0	0.002436
67	900	754	881	2094.5	0.0	2094.5	0.002680
68	1236	506	1211	2347.5	469.5	2817.0	0.003605
69	1283	0	1242	1904.0	190.4	2094.4	0.002680
70	1438	0	1393	2134.5	213.5	2348.0	0.003004
71	1283	0	1242	1904.0	190.4	2094.4	0.002680
72	1283	0	1242	1904.0	190.4	2094.4	0.002680
73	1438	0	1393	2134.5	213.5	2348.0	0.003004
74	1438	0	1393	2134.5	0.0	2134.5	0.002731
75	1283	0	1242	1904.0	0.0	1904.0	0.002436
76	1283	0	1242	1904.0	0.0	1904.0	0.002436
77	1438	0	1393	2134.5	0.0	2134.5	0.002731
78	1438	0	1393	2134.5	0.0	2134.5	0.002731
79	1283	0	1242	1904.0	0.0	1904.0	0.002436
80	1283	0	1242	1904.0	0.0	1904.0	0.002436
81	1438	0	1393	2134.5	0.0	2134.5	0.002731
82	1438	0	1393	2134.5	0.0	2134.5	0.002731
83	1283	0	1242	1904.0	0.0	1904.0	0.002436
84	1283	0	1242	1904.0	0.0	1904.0	0.002436
85	1438	0	1393	2134.5	0.0	2134.5	0.002731
86	1438	0	1393	2134.5	426.9	2561.4	0.003278
87	1323	0	1274	1960.0	392.0	2352.0	0.003010
88	1438	0	1393	2134.5	213.5	2348.0	0.003004
89	1283	0	1242	1904.0	190.4	2094.4	0.002680
90	1283	0	1242	1904.0	190.4	2094.4	0.002680
91	1438	0	1393	2134.5	213.5	2348.0	0.003004
92	1283	0	1242	1904.0	380.8	2284.8	0.002924
93	1283	0	1242	1904.0	190.4	2094.4	0.002680
94	1571	0	1503	2322.5	464.5	2787.0	0.003566
95	1351	0	1295	1998.5	399.7	2398.2	0.003069
96	900	754	881	2094.5	418.9	2513.4	0.003216

**RIVERPINES                      23rd Amendment Master % Value List**

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
97	1571	0	1503	2322.5	0.0	2322.5	0.002972
98	1352	0	1310	2007.0	0.0	2007.0	0.002568
99	1352	0	1310	2007.0	0.0	2007.0	0.002568
100	1571	0	1503	2322.5	0.0	2322.5	0.002972
101	1571	0	1503	2322.5	464.5	2787.0	0.003566
102	1571	0	1503	2322.5	232.3	2554.8	0.003269
103	1352	0	1310	2007.0	200.7	2207.7	0.002825
104	1352	0	1310	2007.0	200.7	2207.7	0.002825
105	1571	0	1503	2322.5	232.3	2554.8	0.003269
106	1571	0	1503	2322.5	0.0	2322.5	0.002972
107	1347	0	1308	2001.0	0.0	2001.0	0.002560
108	1347	0	1308	2001.0	0.0	2001.0	0.002560
109	1571	0	1503	2322.5	0.0	2322.5	0.002972
110	900	754	881	2094.5	418.9	2513.4	0.003216
111	1571	0	1503	2322.5	0.0	2322.5	0.002972
112	1352	0	1310	2007.0	0.0	2007.0	0.002568
113	1352	0	1310	2007.0	0.0	2007.0	0.002568
114	1571	0	1503	2322.5	0.0	2322.5	0.002972
115	1571	0	1503	2322.5	0.0	2322.5	0.002972
116	1352	0	1310	2007.0	0.0	2007.0	0.002568
117	1352	0	1310	2007.0	0.0	2007.0	0.002568
118	1571	0	1503	2322.5	0.0	2322.5	0.002972
119	1323	0	1274	1960.0	196.0	2156.0	0.002759
120	1352	0	1310	2007.0	200.7	2207.7	0.002825
121	1571	0	1503	2322.5	464.5	2787.0	0.003566
122	1376	571	1314	2604.0	520.8	3124.8	0.003998
123	1351	0	1295	1998.5	199.9	2198.4	0.002813
124	1351	0	1295	1998.5	199.9	2198.4	0.002813
125	1571	0	1503	2322.5	232.3	2554.8	0.003269
126	1376	571	1314	2604.0	520.8	3124.8	0.003998
127	1323	0	1274	1960.0	196.0	2156.0	0.002759
128	1323	0	1274	1960.0	196.0	2156.0	0.002759
129	1323	0	1274	1960.0	196.0	2156.0	0.002759
130	1571	0	1503	2322.5	0.0	2322.5	0.002972
131	1347	0	1308	2001.0	0.0	2001.0	0.002560
132	1298	0	1262	1929.0	0.0	1929.0	0.002468
133	1323	0	1274	1960.0	0.0	1960.0	0.002508
134	1376	571	1314	2604.0	0.0	2604.0	0.003332
135	1352	0	1310	2007.0	0.0	2007.0	0.002568
136	1352	0	1310	2007.0	0.0	2007.0	0.002568
137	1571	0	1503	2322.5	0.0	2322.5	0.002972
138	1571	0	1503	2322.5	0.0	2322.5	0.002972
139	1347	0	1308	2001.0	0.0	2001.0	0.002560
140	1298	0	1262	1929.0	0.0	1929.0	0.002468
141	1571	0	1503	2322.5	0.0	2322.5	0.002972
142	1556	567	1474	2860.0	286.0	3146.0	0.004026
143	1347	0	1308	2001.0	400.2	2465.5	0.003155
144	1347	0	1308	2001.0	400.2	2401.2	0.003073

## RIVERPINES

## 23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
145	1347	0	1308	2001.0	400.2	2401.2	0.003073
146	1283	0	1242	1904.0	380.8	2284.8	0.002924
147	1571	0	1503	2322.5	0.0	2322.5	0.002972
148	1347	0	1308	2001.0	0.0	2001.0	0.002560
149	1347	0	1308	2001.0	0.0	2001.0	0.002560
150	1323	0	1274	1960.0	0.0	1960.0	0.002508
151	1571	0	1503	2322.5	0.0	2322.5	0.002972
152	1347	0	1308	2001.0	0.0	2001.0	0.002560
153	1347	0	1308	2001.0	0.0	2001.0	0.002560
154	1376	571	1314	2604.0	0.0	2604.0	0.003332
155	1323	0	1274	1960.0	196.0	2156.0	0.002759
156	1323	0	1274	1960.0	196.0	2156.0	0.002759
157	1382	0	1368	2066.0	413.2	2479.2	0.003172
158	1347	0	1308	2001.0	400.2	2401.2	0.003073
159	1323	0	1274	1960.0	392.0	2352.0	0.003010
160	1323	0	1274	1960.0	392.0	2352.0	0.003010
161	1376	571	1314	2604.0	520.8	3124.8	0.003998
162	1347	0	1308	2001.0	400.2	2401.2	0.003073
163	1347	0	1308	2001.0	200.1	2201.1	0.002817
164	1222	0	1199	1821.5	182.2	2003.7	0.002564
165	1376	571	1314	2604.0	260.4	2864.4	0.003665
166	1323	0	1274	1960.0	0.0	1960.0	0.002508
167	1347	0	1308	2001.0	0.0	2001.0	0.002560
168	1298	0	1262	1929.0	0.0	1929.0	0.002468
169	1323	0	1274	1960.0	0.0	1960.0	0.002508
170	1376	571	1314	2604.0	0.0	2604.0	0.003332
171	1347	0	1308	2001.0	0.0	2001.0	0.002560
172	1298	0	1262	1929.0	0.0	1929.0	0.002468
173	1323	0	1274	1960.0	0.0	1960.0	0.002508
174	1625	0	1620	2435.0	243.5	2678.5	0.003427
175	900	754	881	2094.5	209.5	2304.0	0.002948
176	1222	0	1199	1821.5	182.2	2003.7	0.002564
177	1376	571	1314	2604.0	260.4	2864.4	0.003665
178	1222	0	1199	1821.5	182.2	2003.7	0.002564
179	1347	0	1308	2001.0	200.1	2201.1	0.002817
180	1571	0	1503	2322.5	232.3	2554.8	0.003269
181	1347	0	1308	2001.0	200.1	2201.1	0.002817
182	1347	0	1308	2001.0	200.1	2201.1	0.002817
183	1222	0	1199	1821.5	182.2	2003.7	0.002564
184	1222	0	1199	1821.5	182.2	2003.7	0.002564
185	1323	0	1274	1960.0	0.0	1960.0	0.002508
186	1298	0	1262	1929.0	0.0	1929.0	0.002468
187	1571	0	1503	2322.5	0.0	2322.5	0.002972
188	1222	0	1199	1821.5	182.2	2003.7	0.002564
189	1323	0	1274	1960.0	196.0	2156.0	0.002759
190	1347	0	1308	2001.0	200.1	2201.1	0.002817
191	1222	0	1199	1821.5	182.2	2003.7	0.002564
192	1323	0	1274	1960.0	196.0	2156.0	0.002759

**RIVERPINES                      23rd Amendment Master % Value List**

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
193	1571	0	1503	2322.5	0.0	2322.5	0.002972
194	1347	0	1308	2001.0	0.0	2001.0	0.002560
195	1571	0	1503	2322.5	0.0	2322.5	0.002972
196	1236	506	1211	2347.5	0.0	2347.5	0.003004
197	1347	0	1308	2001.0	0.0	2001.0	0.002560
198	1298	0	1262	1929.0	0.0	1929.0	0.002468
199	1323	0	1274	1960.0	0.0	1960.0	0.002508
200	1571	0	1503	2322.5	0.0	2322.5	0.002972
201	1298	0	1262	1929.0	0.0	1929.0	0.002468
202	1347	0	1308	2001.0	0.0	2001.0	0.002560
203	1571	0	1503	2322.5	0.0	2322.5	0.002972
204	1571	0	1503	2322.5	0.0	2322.5	0.002972
205	1298	0	1262	1929.0	0.0	1929.0	0.002468
206	1347	0	1308	2001.0	0.0	2001.0	0.002560
207	1571	0	1503	2322.5	0.0	2322.5	0.002972
208	1571	0	1503	2322.5	0.0	2322.5	0.002972
209	1298	0	1262	1929.0	0.0	1929.0	0.002468
210	1347	0	1308	2001.0	0.0	2001.0	0.002560
211	1376	571	1314	2604.0	0.0	2604.0	0.003332
212	1376	571	1314	2604.0	0.0	2604.0	0.003332
213	1329	0	1267	1962.5	0.0	1962.5	0.002511
214	1376	571	1314	2604.0	0.0	2604.0	0.003332
215	1347	0	1308	2001.0	200.1	2201.1	0.002817
216	1669	0	1601	2469.5	247.0	2716.5	0.003476
217	1323	0	1274	1960.0	0.0	1960.0	0.002508
218	1347	0	1308	2001.0	0.0	2001.0	0.002560
219	1298	0	1262	1929.0	0.0	1929.0	0.002468
220	1571	0	1503	2322.5	0.0	2322.5	0.002972
221	1571	0	1503	2322.5	0.0	2322.5	0.002972
222	1347	0	1308	2001.0	0.0	2001.0	0.002560
223	1298	0	1262	1929.0	0.0	1929.0	0.002468
224	1571	0	1503	2322.5	0.0	2322.5	0.002972
225	1323	0	1274	1960.0	196.0	2156.0	0.002759
226	1298	0	1262	1929.0	192.9	2121.9	0.002715
227	1347	0	1308	2001.0	200.1	2201.1	0.002817
228	1376	571	1314	2604.0	260.4	2864.4	0.003665
229	1571	0	1503	2322.5	232.3	2554.8	0.003269
230	1323	0	1274	1960.0	0.0	1960.0	0.002508
231	1298	0	1262	1929.0	0.0	1929.0	0.002468
232	1347	0	1308	2001.0	0.0	2001.0	0.002560
233	1323	0	1274	1960.0	0.0	1960.0	0.002508
234	1347	0	1308	2001.0	200.1	2201.1	0.002817
235	1571	0	1503	2322.5	232.3	2554.8	0.003269
236	1347	0	1308	2001.0	200.1	2201.1	0.002817
237	1347	0	1308	2001.0	200.1	2201.1	0.002817
238	1571	0	1503	2322.5	232.3	2554.8	0.003269
239	1571	0	1503	2322.5	0.0	2322.5	0.002972
240	1347	0	1308	2001.0	0.0	2001.0	0.002560

**RIVERPINES                      23rd Amendment Master % Value List**

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
241	1298	0	1262	1929.0	0.0	1929.0	0.002468
242	1571	0	1503	2322.5	0.0	2322.5	0.002972
243	1571	0	1503	2322.5	0.0	2322.5	0.002972
244	1347	0	1308	2001.0	0.0	2001.0	0.002560
245	1298	0	1262	1929.0	0.0	1929.0	0.002468
246	1571	0	1503	2322.5	0.0	2322.5	0.002972
247	1571	0	1503	2322.5	0.0	2322.5	0.002972
248	1347	0	1308	2001.0	0.0	2001.0	0.002560
249	1298	0	1262	1929.0	0.0	1929.0	0.002468
250	1571	0	1503	2322.5	0.0	2322.5	0.002972
251	1571	0	1503	2322.5	0.0	2322.5	0.002972
252	1298	0	1262	1929.0	0.0	1929.0	0.002468
253	1347	0	1308	2001.0	0.0	2001.0	0.002560
254	1571	0	1503	2322.5	0.0	2322.5	0.002972
255	1571	0	1503	2322.5	232.3	2554.8	0.003269
256	1571	0	1503	2322.5	232.3	2554.8	0.003269
257	1571	0	1503	2322.5	232.3	2554.8	0.003269
258	1347	0	1308	2001.0	200.1	2201.1	0.002817
259	1625	0	1620	2435.0	243.5	2678.5	0.003427
260	1222	0	1199	1821.5	182.2	2003.7	0.002564
261	1323	0	1274	1960.0	196.0	2156.0	0.002759
262	1347	0	1308	2001.0	200.1	2201.1	0.002817
263	1347	0	1308	2001.0	200.1	2201.1	0.002817
264	1571	0	1503	2322.5	0.0	2322.5	0.002972
265	1347	0	1308	2001.0	0.0	2001.0	0.002560
266	1298	0	1262	1929.0	0.0	1929.0	0.002468
267	1323	0	1274	1960.0	0.0	1960.0	0.002508
268	1323	0	1274	1960.0	0.0	1960.0	0.002508
269	1347	0	1308	2001.0	0.0	2001.0	0.002560
270	1298	0	1262	1929.0	0.0	1929.0	0.002468
271	1323	0	1274	1960.0	0.0	1960.0	0.002508
272	1347	0	1308	2001.0	200.1	2201.1	0.002817
273	1571	0	1503	2322.5	232.3	2554.8	0.003269
274	1347	0	1308	2001.0	200.1	2201.1	0.003067
275	1222	0	1199	1821.5	182.2	2003.7	0.002564
276	1347	0	1308	2001.0	200.1	2201.1	0.002817
277	1347	0	1308	2001.0	200.1	2201.1	0.002817
278	1571	0	1503	2322.5	0.0	2322.5	0.002972
279	1347	0	1308	2001.0	0.0	2001.0	0.002560
280	1298	0	1262	1929.0	0.0	1929.0	0.002468
281	1571	0	1503	2322.5	0.0	2322.5	0.002972
282	1442	0	1398	2141.0	214.1	2355.1	0.003014
283	1300	0	1276	1938.0	387.6	2325.6	0.002976
284	1571	0	1503	2322.5	464.5	2787.0	0.003566
285	1347	0	1308	2001.0	200.1	2201.1	0.002817
286	1347	0	1308	2001.0	200.1	2201.1	0.002817
287	1571	0	1503	2322.5	0.0	2322.5	0.002972
288	1347	0	1308	2001.0	0.0	2001.0	0.002560

## RIVERPINES

## 23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
289	1298	0	1262	1929.0	0.0	1929.0	0.002468
290	1571	0	1503	2322.5	0.0	2322.5	0.002972
291	1571	0	1503	2322.5	0.0	2322.5	0.002972
292	1347	0	1308	2001.0	0.0	2001.0	0.002560
293	1298	0	1262	1929.0	0.0	1929.0	0.002468
294	1571	0	1503	2322.5	0.0	2322.5	0.002972
295	1571	0	1503	2322.5	0.0	2322.5	0.002972
296	1347	0	1308	2001.0	0.0	2001.0	0.002560
297	1298	0	1262	1929.0	0.0	1929.0	0.002468
298	1571	0	1503	2322.5	0.0	2322.5	0.002972
299	1571	0	1503	2322.5	0.0	2322.5	0.002972
300	1347	0	1308	2001.0	0.0	2001.0	0.002560
301	1298	0	1262	1929.0	0.0	1929.0	0.002468
302	1571	0	1503	2322.5	0.0	2322.5	0.002972
303	1347	0	1308	2001.0	200.1	2201.1	0.002817
304	1323	0	1274	1960.0	196.0	2156.0	0.002759
305	1222	0	1199	1821.5	182.2	2003.7	0.002564
306	1571	0	1503	2322.5	0.0	2322.5	0.002972
307	1347	0	1308	2001.0	0.0	2001.0	0.002560
308	1298	0	1262	1929.0	0.0	1929.0	0.002468
309	1571	0	1503	2322.5	0.0	2322.5	0.002972
310	1323	0	1274	1960.0	0.0	1960.0	0.002508
311	1347	0	1308	2001.0	0.0	2001.0	0.002560
312	1298	0	1262	1929.0	0.0	1929.0	0.002468
313	1323	0	1274	1960.0	0.0	1960.0	0.002508
314	1323	0	1274	1960.0	0.0	1960.0	0.002508
315	1347	0	1308	2001.0	0.0	2001.0	0.002560
316	1298	0	1262	1929.0	0.0	1929.0	0.002468
317	1571	0	1503	2322.5	0.0	2322.5	0.002972
318	1347	0	1308	2001.0	200.1	2201.1	0.002817
319	1347	0	1308	2001.0	200.1	2201.1	0.002817
320	1571	0	1503	2322.5	232.3	2554.8	0.003269
321	1347	0	1308	2001.0	200.1	2201.1	0.002817
322	1347	0	1308	2001.0	200.1	2201.1	0.002817
323	1347	0	1308	2001.0	200.1	2201.1	0.002817
324	1347	0	1308	2001.0	200.1	2201.1	0.002817
325	1323	0	1274	1960.0	196.0	2156.0	0.002759
326	1571	0	1503	2322.5	0.0	2322.5	0.002972
327	1298	0	1262	1929.0	0.0	1929.0	0.002468
328	1347	0	1308	2001.0	0.0	2001.0	0.002560
329	1571	0	1503	2322.5	0.0	2322.5	0.002972
330	1571	0	1503	2322.5	0.0	2322.5	0.002972
331	1298	0	1262	1929.0	0.0	1929.0	0.002468
332	1347	0	1308	2001.0	0.0	2001.0	0.002560
333	1323	0	1274	1960.0	0.0	1960.0	0.002508
334	1571	0	1503	2322.5	0.0	2322.5	0.002972
335	1298	0	1262	1929.0	0.0	1929.0	0.002468
336	1347	0	1308	2001.0	0.0	2001.0	0.002560

RIVERPINES

23rd Amendment Master % Value List

UNIT	SQ. FT. 1st FLOOR	SQ. FT. 2nd FLOOR	SQ. FT. BASEMENT	ADJ. AREA	Det./Walk. ADJ.	TOTAL ADJ AREA	T.A.A./ TOTAL
337	1571	0	1503	2322.5	0.0	2322.5	0.002972
338	1571	0	1503	2322.5	0.0	2322.5	0.002972
339	1298	0	1262	1929.0	0.0	1929.0	0.002468
340	1347	0	1308	2001.0	0.0	2001.0	0.002560
341	1571	0	1503	2322.5	0.0	2322.5	0.002972
342	1571	0	1503	2322.5	0.0	2322.5	0.002972
343	1298	0	1262	1929.0	0.0	1929.0	0.002468
344	1347	0	1308	2001.0	0.0	2001.0	0.002560
345	1571	0	1503	2322.5	0.0	2322.5	0.002972
346	1571	0	1503	2322.5	232.3	2554.8	0.003269
347	1347	0	1308	2001.0	200.1	2201.1	0.002817
348	1571	0	1503	2322.5	0.0	2322.5	0.002972
349	1298	0	1262	1929.0	0.0	1929.0	0.002468
350	1347	0	1308	2001.0	0.0	2001.0	0.002560
351	1571	0	1503	2322.5	0.0	2322.5	0.002972
352	1571	0	1503	2322.5	0.0	2322.5	0.002972
353	1298	0	1262	1929.0	0.0	1929.0	0.002468
354	1347	0	1308	2001.0	0.0	2001.0	0.002560
355	1571	0	1503	2322.5	0.0	2322.5	0.002972
<b>TOTALS</b>						<b>781494.7</b>	<b>0.9178</b>

UNIT	%	UNIT	%	UNIT	%	UNIT	%	UNIT	%	UNIT	%	UNIT	%
1	0.300	51	0.328	101	0.357	151	0.297	201	0.247	251	0.297	301	0.247
2	0.268	52	0.328	102	0.327	152	0.256	202	0.256	252	0.247	302	0.297
3	0.268	53	0.328	103	0.282	153	0.256	203	0.297	253	0.256	303	0.282
4	0.295	54	0.322	104	0.282	154	0.333	204	0.297	254	0.297	304	0.275
5	0.328	55	0.328	105	0.327	155	0.275	205	0.247	255	0.327	305	0.256
6	0.328	56	0.268	106	0.297	156	0.275	206	0.256	256	0.327	306	0.297
7	0.292	57	0.268	107	0.256	157	0.318	207	0.297	257	0.327	307	0.256
8	0.322	58	0.244	108	0.256	158	0.307	208	0.297	258	0.282	308	0.247
9	0.300	59	0.300	109	0.297	159	0.3	209	0.247	259	0.343	309	0.297
10	0.268	60	0.273	110	0.322	160	0.3	210	0.256	260	0.256	310	0.25
11	0.268	61	0.244	111	0.297	161	0.400	211	0.333	261	0.275	311	0.256
12	0.295	62	0.268	112	0.257	162	0.307	212	0.333	262	0.282	312	0.247
13	0.273	63	0.295	113	0.257	163	0.282	213	0.251	263	0.282	313	0.25
14	0.244	64	0.273	114	0.297	164	0.256	214	0.333	264	0.297	314	0.25
15	0.244	65	0.244	115	0.297	165	0.366	215	0.282	265	0.256	315	0.256
16	0.268	66	0.244	116	0.257	166	0.25	216	0.348	266	0.247	316	0.247
17	0.273	67	0.268	117	0.257	167	0.256	217	0.25	267	0.25	317	0.297
18	0.244	68	0.360	118	0.297	168	0.247	218	0.256	268	0.25	318	0.282
19	0.244	69	0.268	119	0.275	169	0.25	219	0.247	269	0.256	319	0.282
20	0.268	70	0.300	120	0.282	170	0.333	220	0.297	270	0.247	320	0.327
21	0.300	71	0.268	121	0.357	171	0.256	221	0.297	271	0.25	321	0.282
22	0.244	72	0.268	122	0.400	172	0.247	222	0.256	272	0.282	322	0.282
23	0.244	73	0.300	123	0.281	173	0.25	223	0.247	273	0.327	323	0.282
24	0.273	74	0.273	124	0.281	174	0.343	224	0.297	274	0.307	324	0.282
25	0.300	75	0.244	125	0.327	175	0.295	225	0.275	275	0.256	325	0.275
26	0.244	76	0.244	126	0.400	176	0.256	226	0.271	276	0.282	326	0.297
27	0.244	77	0.273	127	0.275	177	0.366	227	0.282	277	0.282	327	0.247
28	0.273	78	0.273	128	0.275	178	0.256	228	0.366	278	0.297	328	0.256
29	0.300	79	0.244	129	0.275	179	0.282	229	0.327	279	0.256	329	0.297
30	0.268	80	0.244	130	0.297	180	0.327	230	0.25	280	0.247	330	0.297
31	0.268	81	0.273	131	0.256	181	0.282	231	0.247	281	0.297	331	0.247
32	0.295	82	0.273	132	0.247	182	0.282	232	0.256	282	0.301	332	0.256
33	0.300	83	0.244	133	0.25	183	0.256	233	0.25	283	0.298	333	0.25
34	0.268	84	0.244	134	0.333	184	0.256	234	0.282	284	0.357	334	0.297
35	0.268	85	0.273	135	0.257	185	0.25	235	0.327	285	0.282	335	0.247

36	0.330	86	0.328	136	0.257	186	0.247	236	0.282	286	0.282	336	0.256	
37	0.273	87	0.3	137	0.297	187	0.297	237	0.282	287	0.297	337	0.297	
38	0.244	88	0.300	138	0.297	188	0.256	238	0.327	288	0.256	338	0.297	
39	0.244	89	0.268	139	0.256	189	0.275	239	0.297	289	0.247	339	0.247	
40	0.268	90	0.268	140	0.247	190	0.282	240	0.256	290	0.297	340	0.256	
41	0.273	91	0.300	141	0.297	191	0.256	241	0.247	291	0.297	341	0.297	
42	0.244	92	0.292	142	0.403	192	0.275	242	0.297	292	0.256	342	0.297	
43	0.244	93	0.268	143	0.315	193	0.297	243	0.297	293	0.247	343	0.247	
44	0.268	94	0.357	144	0.307	194	0.256	244	0.256	294	0.297	344	0.256	
45	0.328	95	0.307	145	0.307	195	0.297	245	0.247	295	0.297	345	0.297	
46	0.322	96	0.322	146	0.292	196	0.300	246	0.297	296	0.256	346	0.327	
47	0.328	97	0.297	147	0.297	197	0.256	247	0.297	297	0.247	347	0.282	
48	0.328	98	0.257	148	0.256	198	0.247	248	0.256	298	0.297	348	0.297	
49	0.322	99	0.257	149	0.256	199	0.25	249	0.247	299	0.297	349	0.247	
50	0.292	100	0.297	150	0.250	200	0.297	250	0.297	300	0.256	350	0.256	
												351	0.297	
												352	0.297	
												353	0.247	
												354	0.256	
												355	0.297	
TOTALS:	13.987		14.107		14.621		14.156		14.039		14.048		15.042	100.000